

A watercolor illustration of a landscape. On the right, a large, detailed tree with a thick trunk and many thin branches stands prominently. The foliage is rendered in shades of green and brown, with some orange dots scattered among the leaves. A path, colored in a warm orange-brown hue, winds from the bottom left towards the base of the tree. A small, dark silhouette of a person is walking along this path. To the left of the path, there are some small, sketchy green shapes representing bushes or grass. The background is filled with soft, blended washes of light green and blue, suggesting a sky or distant landscape. In the top left corner, there are a few simple, curved lines representing birds in flight.

Elderly Wellbeing

A Journey To Dynamic Happiness

Research

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Prologue

At this moment I am working on my final year of the Master of architecture and urbanism. The final year is dedicated to the research project. The subject is elderly housing. In the news,I noticed that elderly housing will dramatically change the coming years. Personally, I think that as an Architect, I need to react on social issues and changes. What interests me here is that I can look beyond the building. In my research I want to look at the entire context. By doing this I can change problems into opportunities. The problem in elderly housing is that this generation is rapidly depreciated and many people end up in solitude. A new generation of older people is coming, which should be indented to their needs and abilities. This generation is not called the protest generation (source) for nothing. Since there is a shortage of suitable accommodation for the elderly and many old complexes become empty, I felt it was important to jump in here with my research.

The past period has been marked by research. During this period I started working to collect information and data on macro-, meso- and micro-level. Also, the wishes of elderly has been described in a survey and vision. The research is based on the hypothesis.

Research method

Research design
The hypothesis is answered by a personal vision and a survey. The survey was conducted by means of asking open-ended questions to elderly (55+). In addition, there is a qualitative analysis of the needs of elderly people in so- cial, economic and physical fields. The decision is made to have a face-to-face interview with elderly in the municipality of Haren.

Methodological quality

The needs of elderly are generalized and placed in a mind map. The validity of the research is maintained by quali- tative open questions and interrogate. The life experts in this study are the elderly themselves. I also base my vision through a literature study, with which the reliability of the research is guaranteed.



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01 Hypotheses

Introduction

Elderly housing

The social developments for the elderly, and housing of the elderly in particular, have always been an issue. This subject has always been interesting for me. It is very fascinating for me to look at developments in society and anticipate on them.

Due to the reduction of elderly people in nursing homes there are many empty complexes (Berenschot, 2014). This fall we owe to the political development that elderly from January first of 2014 with a care package weight less than 4, will not be allowed to live in a nursing home. A care package is a package of care, with a budget attached to it that the older people help to purchase (Beerepoot, 2010). Because of these developments, the elderly should stay home longer and are dependent on caregivers and/or family members. The home care will increase. In the future this will also happen with elderly who use intensive forms of care.

The aging takes the coming years. Where in 2011 the Netherlands had 2.6 million elderly, we have 4.6 million elderly in 2040 (CBS, 2014). In the Netherlands there are parts that have a harder aging, therefore the practice is nuanced. Thus the hard aging is visible in The region Groningen Assen. Due to the aging population, and as people get older, the care will cost more. This is because the demand for care takes strongly.

Social

The older generation is not the generation elderly of the future. With aging, we often talk about the baby boomers, also called the protest generation, born between the years 1946-1954. These future elderly have different needs and different interests. Where previously the elderly were in a recreation together and went shuffle board or cards, the future generation will rise in travel, cultural visits, active leisure, technology and more.

About 70% of the healthy elderly population don't want to move from their own house. But 30% is already interested in a nursing house with optional facilities. If they would need care in the future 52% is interested in this concept (USP, 2014).

Hypotheses

By adapting existing elderly homes that are going to be closed, a portion of the existing and coming shortfall of Senior homes will be met. The adapted Senior homes are market-oriented and efficient. The emphasis is on quality rather than quantity. The new Senior Homes are adaptable for residents. The emphasis is not only on health care but also on welfare. By making the Unlettable common areas of the existing complexes semi-public or public, it will be possible to add new facilities to the neighbourhood/surrounding. This way the Unlettable common will become lettable and create extra income for the building manager. This way the surroundings become more dynamic.

Architectural and urban challenge

A large number of nursing homes build in and before the seventies are seen as non-usable. With the current methods of renovating it is economical unappealing to renovate these buildings, and by combining multiple rooms into one there is a loss of capacity (de Wildt & Neele, 2003). But new locations are scarce and are in placed in inconvenient locations (CBZ, 2003). So new efficient methods of renovating needs to be developed. In order to answer to the demands of the elderly there need to be a quality improvement. Renovation is most of the time more sustainable then treating a new building.

More elderly people are starting to do activities and volunteering. This trend can add new functions and develop collaboration (Platform 31, 2012).

Common areas

Nursing houses from before the nineties are designed with a collective vision. Because of this they have large common areas. These common areas are unusable and creates high cost for the letter or owner (Nursing, 2013). My vision is that these common areas will be used for new functions that serve the region and the elderly.

Location

One of the region where the ageing population rapidly increases is the region Groningen-Assen. Most of the aging takes place in the rural part. The only location where there is a closed nursing home is the Erasmusheem in Haren.

Research method

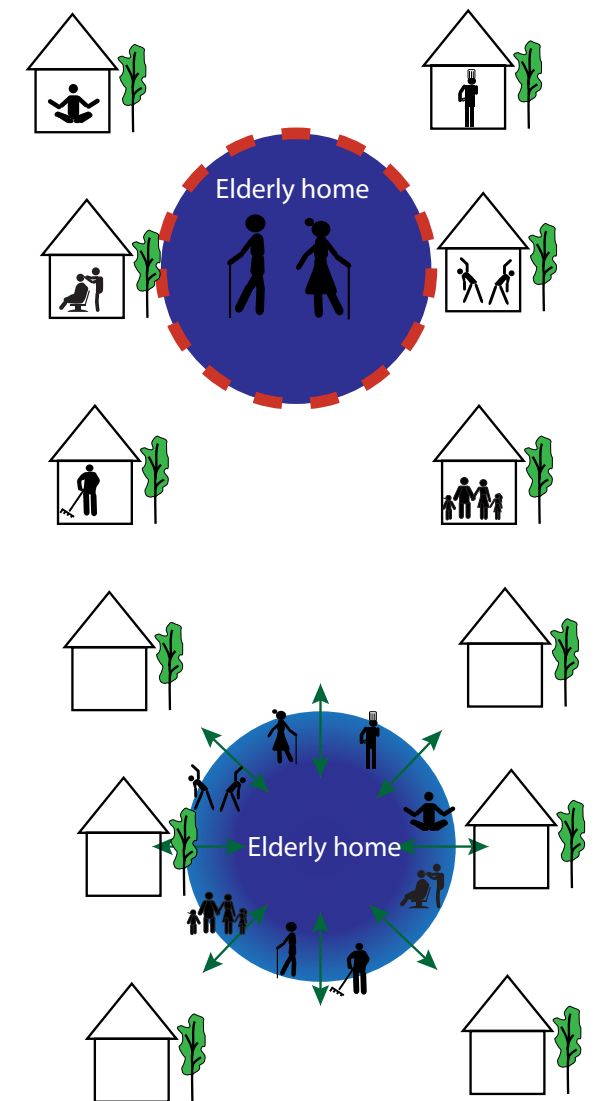
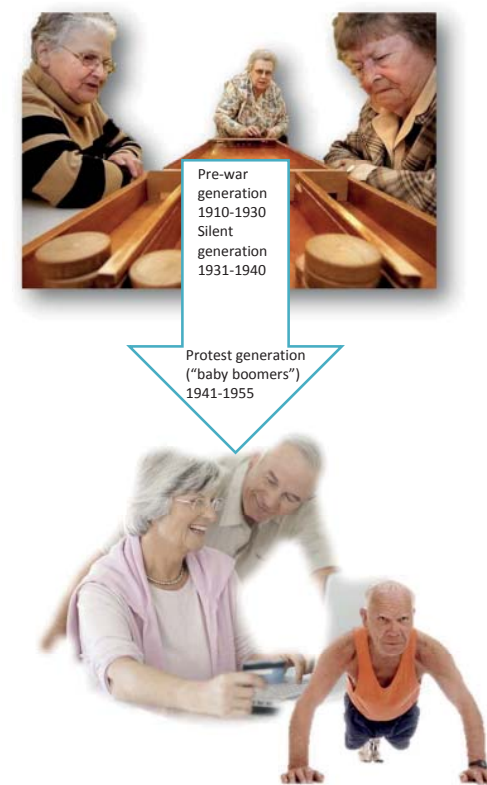
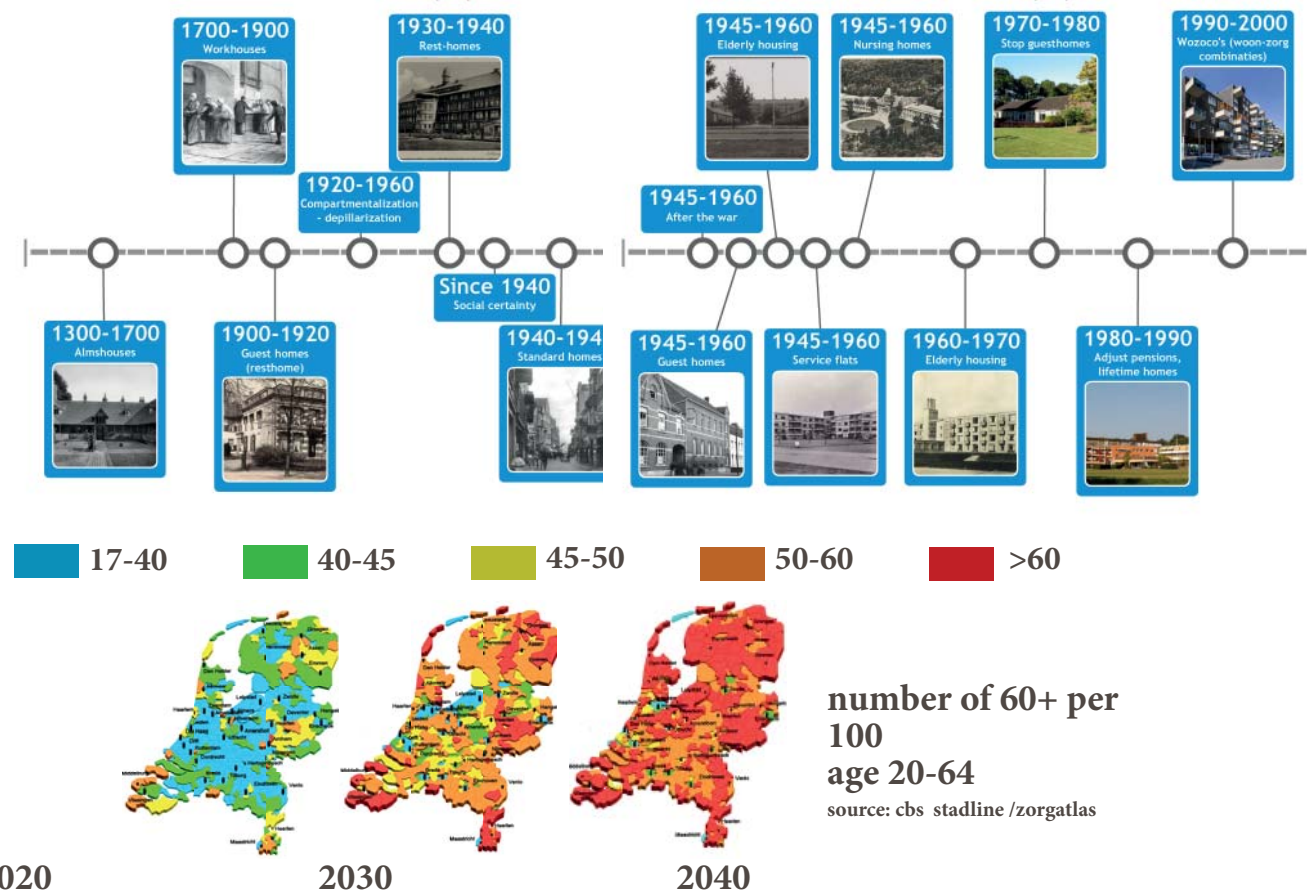
The hypothesis is answered by a personal vision, a survey, an analysis of existing buildings and a literature study.

Mentor

Beatrice Montesano

Architect KAW

As architect at KAW the majority of healthcare projects are designed by Beatrice Montesano. She is an expert in the design of care facilities. The added value of her as my mentor is that she has experience in the design of elderly housing. She can support me in research on which aspects on social, physical and economical field are important. These are the main points of attention in my research.



Elderly

It is generally understood that 'older people' are aged 65 and older. Within that group there are three different categories distinguished, namely the elderly in the age of: 65-74 years, 75-84 years and 85 years old and older.

- Younger elderly aged 65-74 years: often healthy, active and vital;
- Old elderly aged 75-84 years: often problems in the area of (physical) health and daily activities;
- Older elderly aged >85 years: often vulnerable and need more care (Feldman, 2011).

Generation differences

The new generation elderly is born between 1946 and 1954, also called the protest generation or 'baby boomers'. The new generation does not want to be treated as a patient but would fall within a wellness concept. This group has different style preferences, values and beliefs than the current generation of older people. The new generation is:

- Socially involved (they will be);
- Aimed at self-determination;
- Empowered and active;
- Higher educated;
- Higher driver's license possession;
- Can cope with technology (Habion, 2007).

Main types of elderly

The three main types of new elderly exhibit distinctive features, also seen in figure 1.1. Postmodern and modern oriented elderly supplant the traditional oriented elderly in the residential-care market (Habion, 2007).



Figure 1.1

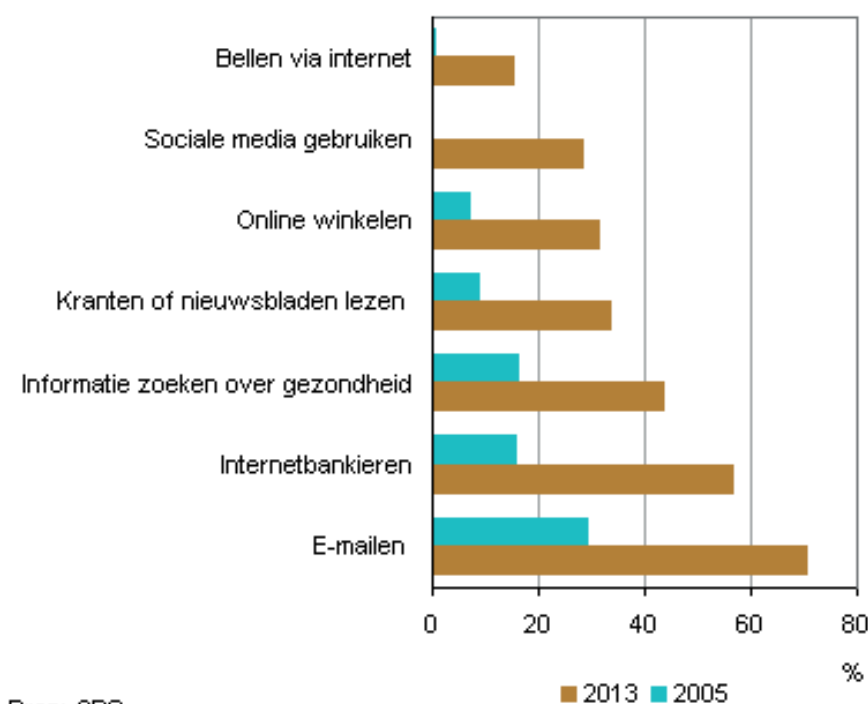


Figure 1.2

Technology

There are several technological developments that make life easier for the elderly. These developments are indispensable if we think of today's elderly and the elderly of the future.

Electric bike

Today approximately 750.000 to 1.000.000 electric bicycles drive on the road. 43% of the users is older than 65 years and 80% is older than 50 (Verkeersnet, 2012). Because there are a lot of accidents with the bike, Europe decided that the maximum speed of the bikes is 25 km/hour. This means that elderly still can drive large distances with the electric bike.

Multimedia

Elderly people use more and more multimedia. For example, in 2012, 23% of the elderly took a tablet on holiday. In 2014, this number has already increased by 51% (De Stentor, 2014). The number of social media and purchases on internet among elderly increases. This means that there are opportunities in utilizing these facilities.

Home automation ('the internet of things') and new developments

Apple and Samsung are increasingly taking medical staff to put medical parts in their systems. For example, the iWatch use ten sensors to measure health. There are rumours that the device can see a heart attack. In addition, home addition and internet helps the welfare of the elderly. This requires four pillars:

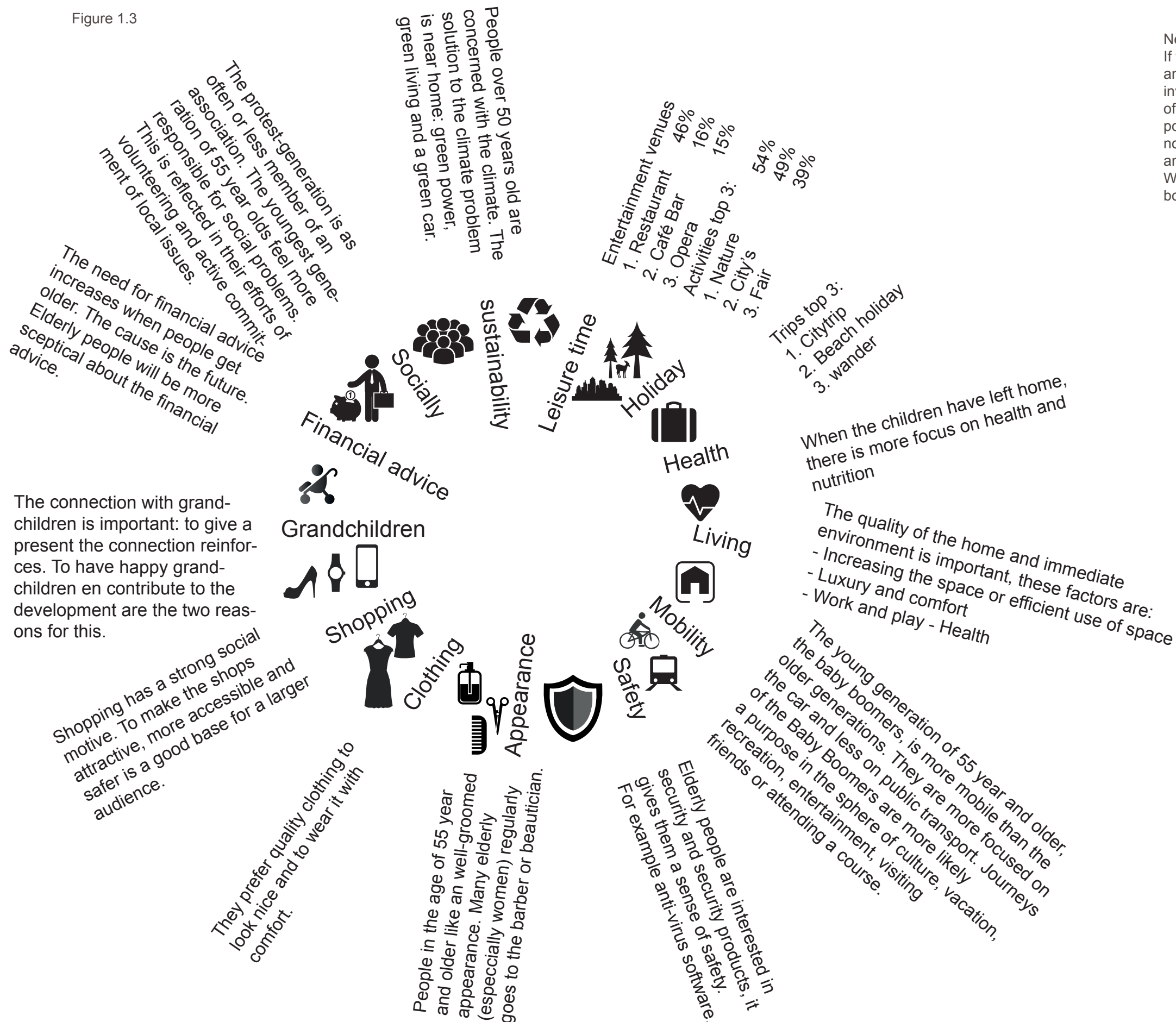
- Personal identity: self esteem, take independent decisions;
- Contact with family and the environment, but also with peers;
- Hold existing routines;
- Active, both physically and mentally (Frankwatching, 2014).

These developments can play a role in continuing to live at home longer and be self-reliant. Although, the preferred needs always needs to go to personal contact.

Government

In the coalition agreement by 2014, the government wants to provide more quality against lower costs. In the future, less complex care will be arranged from the municipalities instead of the government. The government invests in district-nurses so they can provide care in people's homes. For long-term care and welfare-care the government wants tailored service. The government lays the priority of care with a medical character above health with a non-medical character. This means that informal care and social contacts are more important. By deliver care decentralized and extramural the emphasis lays on participation in the society. The intention is that people uses the independence, the social network and the facilities in the municipalities. In the future, the ZZP package higher than 5 is treated intramural.

Figure 1.3

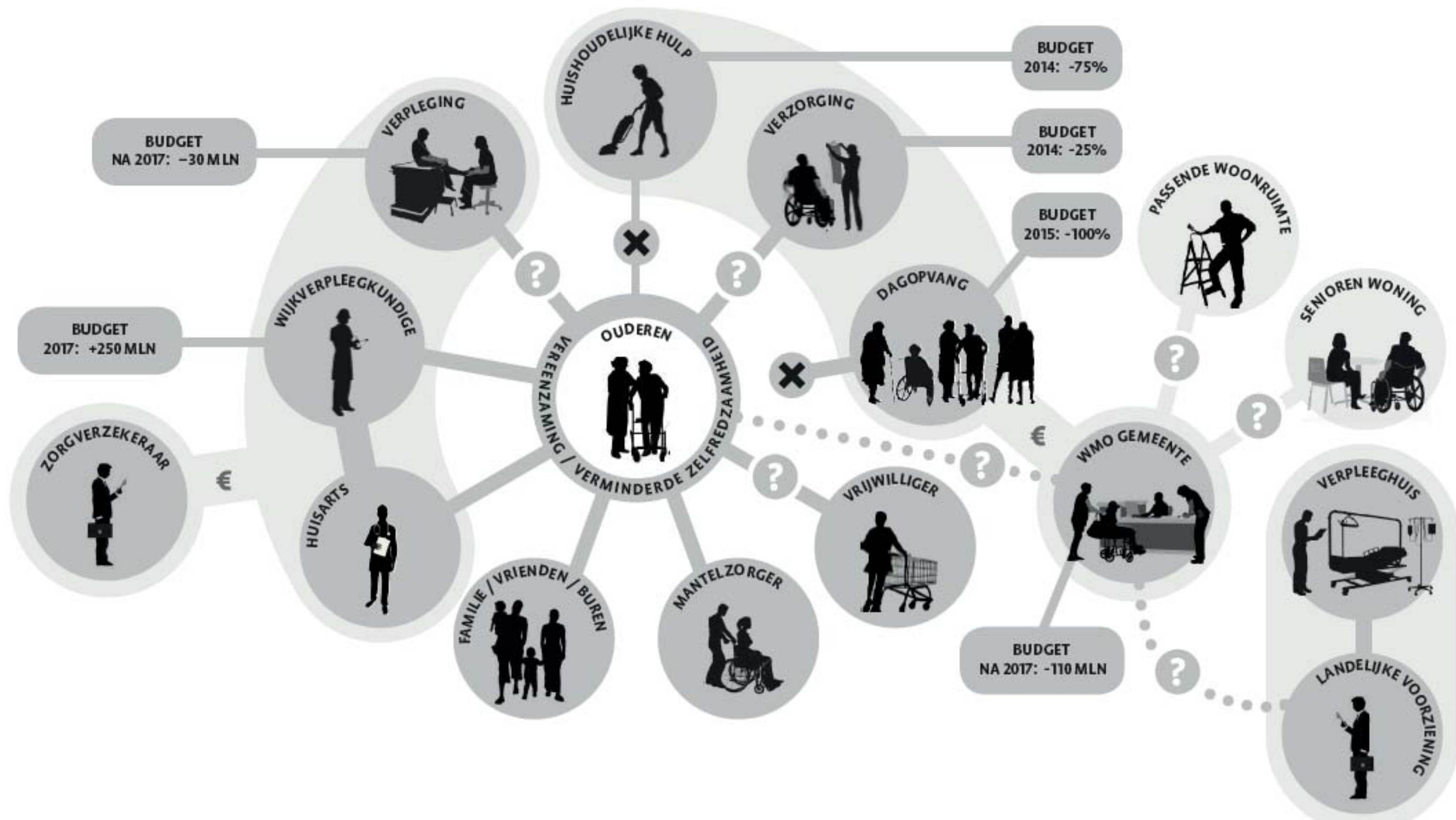


Needs of the elderly

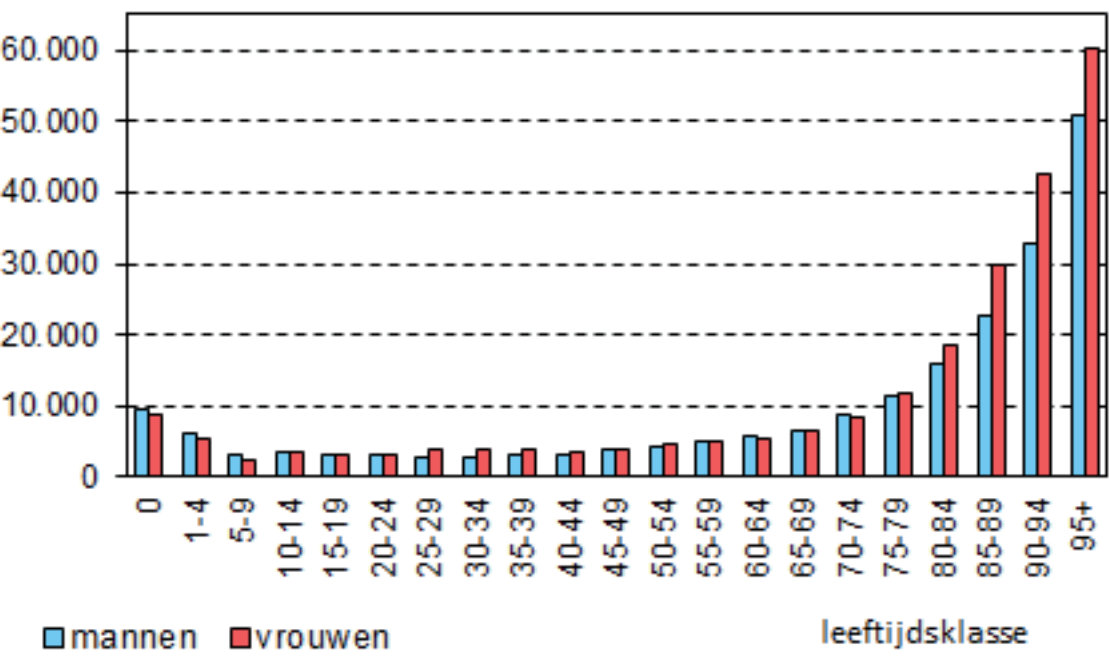
If we see the elderly in general, there is a need of luxury, efficiency and dynamics from the environment. The elderly need more social involvement and they want to be able to choose what they want to use of services and products. There is no generic 'one size fits all' solution possible for the offer of products and services to the elderly. Living is no exception. Especially the postmodern elderly resided in both urban and rural areas. To have a choice is very important for the elderly. Where in earlier times the elderly quietly lived in complexes, the 'baby boom' generation lives in a society with choices.

Figure 1.4

Ouderenzorg: Regeerakkoord



kosten per inwoner (euro)



Kosten van de gezondheidszorg per inwoner naar leeftijd en geslacht in 2011
rijksinstituut voor volksgezondheid en milieu

Figure 1.5

Kosten van Ziekten in Nederland 2011

© RIVM, 2013

Totale kosten (miljoen euro), in lopende prijzen.

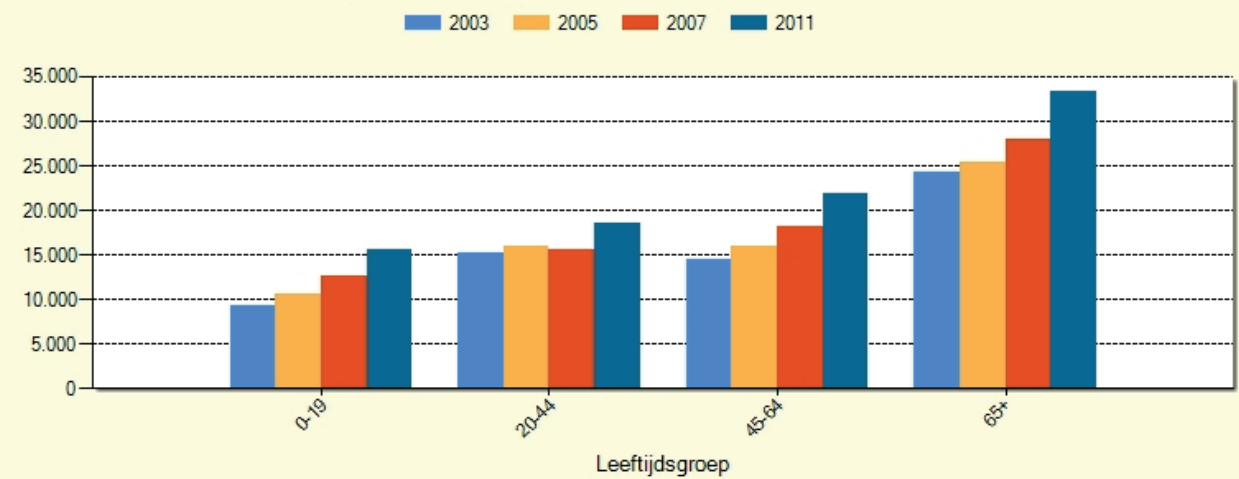


Figure 1.6

Vroeger bij ZZP 1 verzorgingshuis.

Ziekenhuizen kunnen patiënten met ZZP 3 niet naar huis sturen. Deze mogen alsnog naar een verzorgingshuis.

vanaf 2016 kunnen mensen met ZZP 4 niet meer naar het verzorgingshuis

ZZP
zorgzwaartepakket

steunkousen

Laag

1

verzorgingshuis
Verpleegtehuis

10

intensief

Per ZZP is een aantal uren beschikbaar vanuit de zorgverzekeraar. Extra uren moeten zelf worden bijbetaald door de zorgvrager.

Voor meeverhuizen met partner is sinds kort ook geen ZZP indicatie meer nodig.

3 Pijlers

ZZP = begeleiding - verzorging - verpleging

Figure 1.7

Figure 1.8

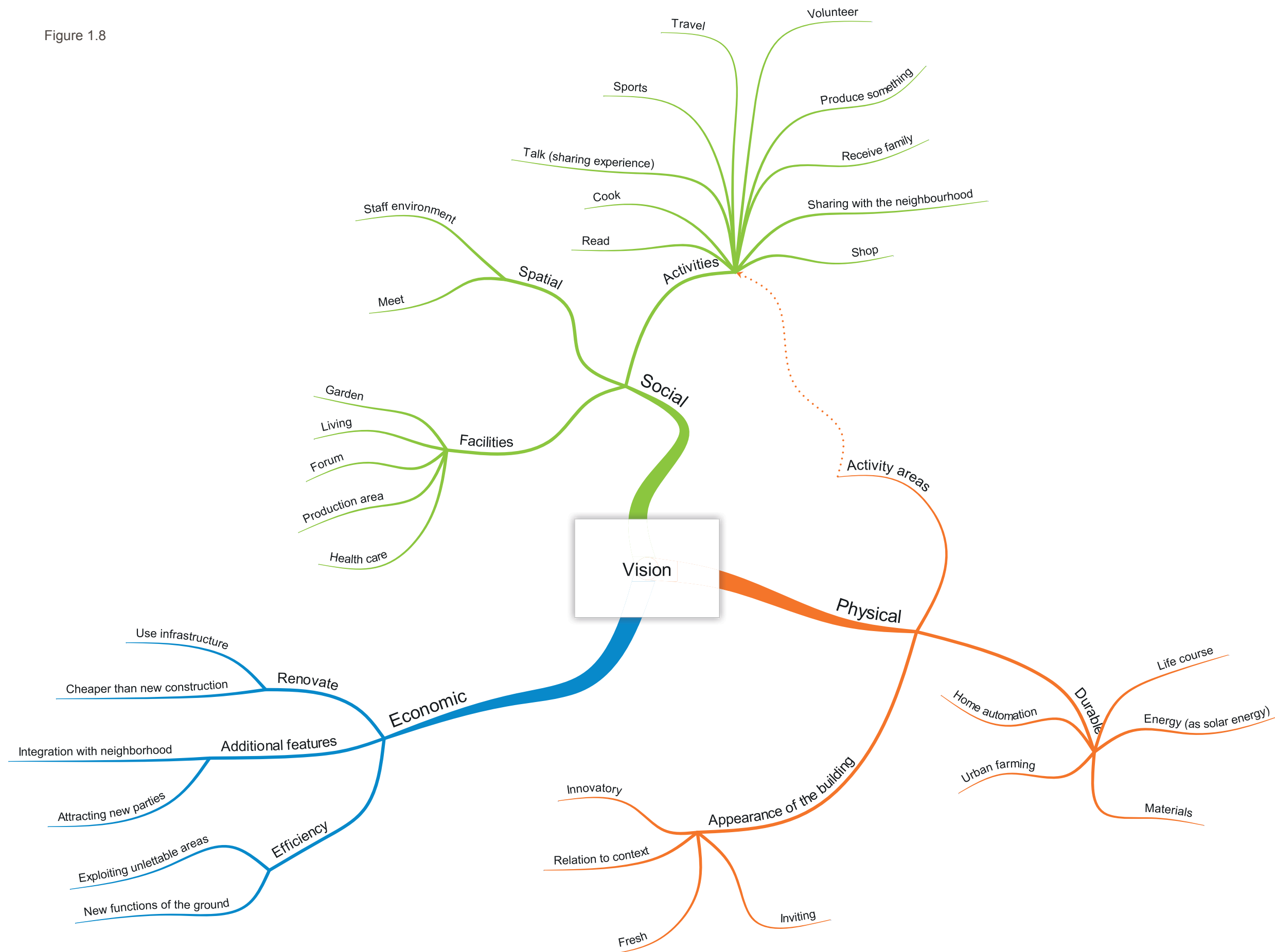
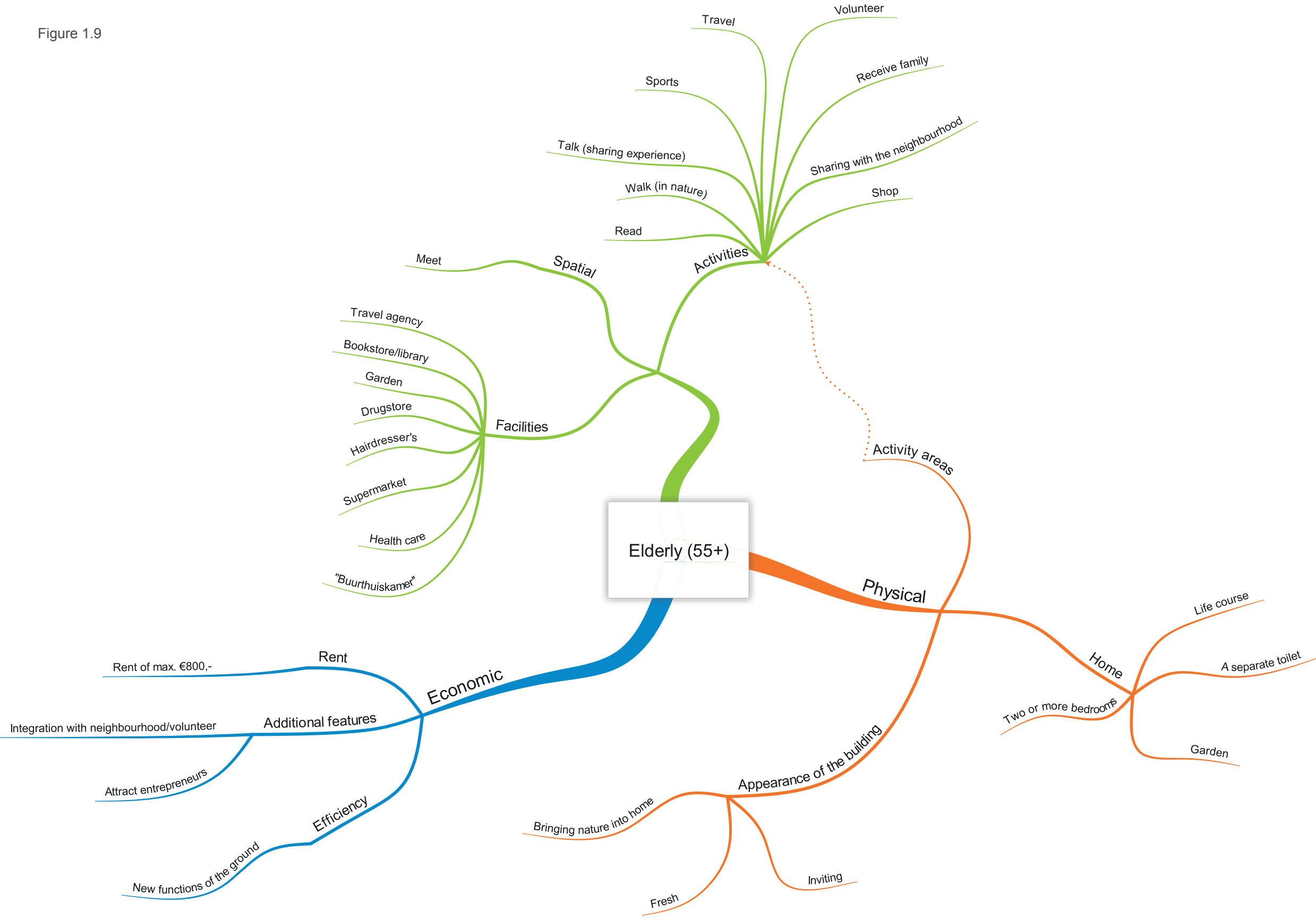
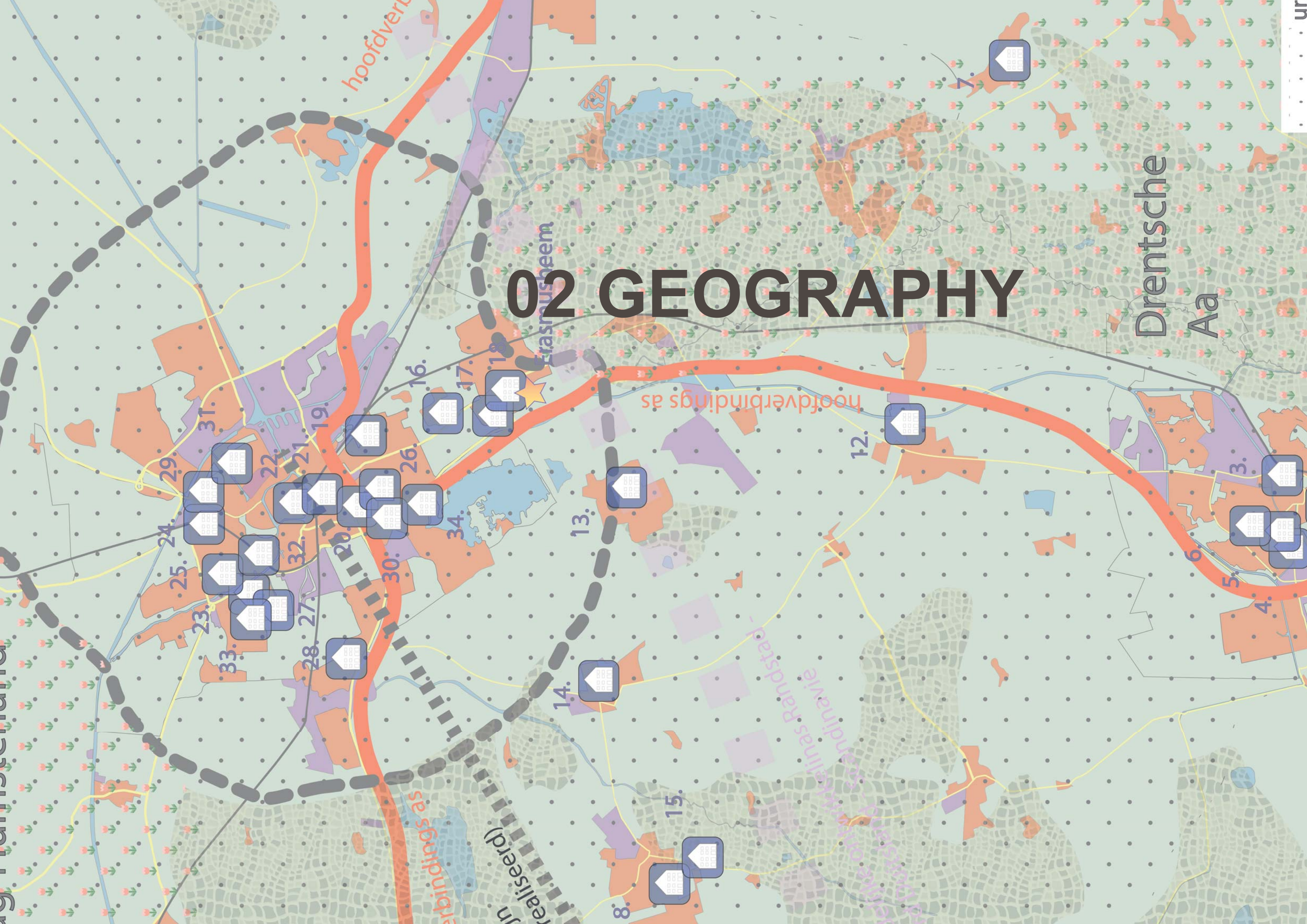


Figure 1.9



02 GEOGRAPHY



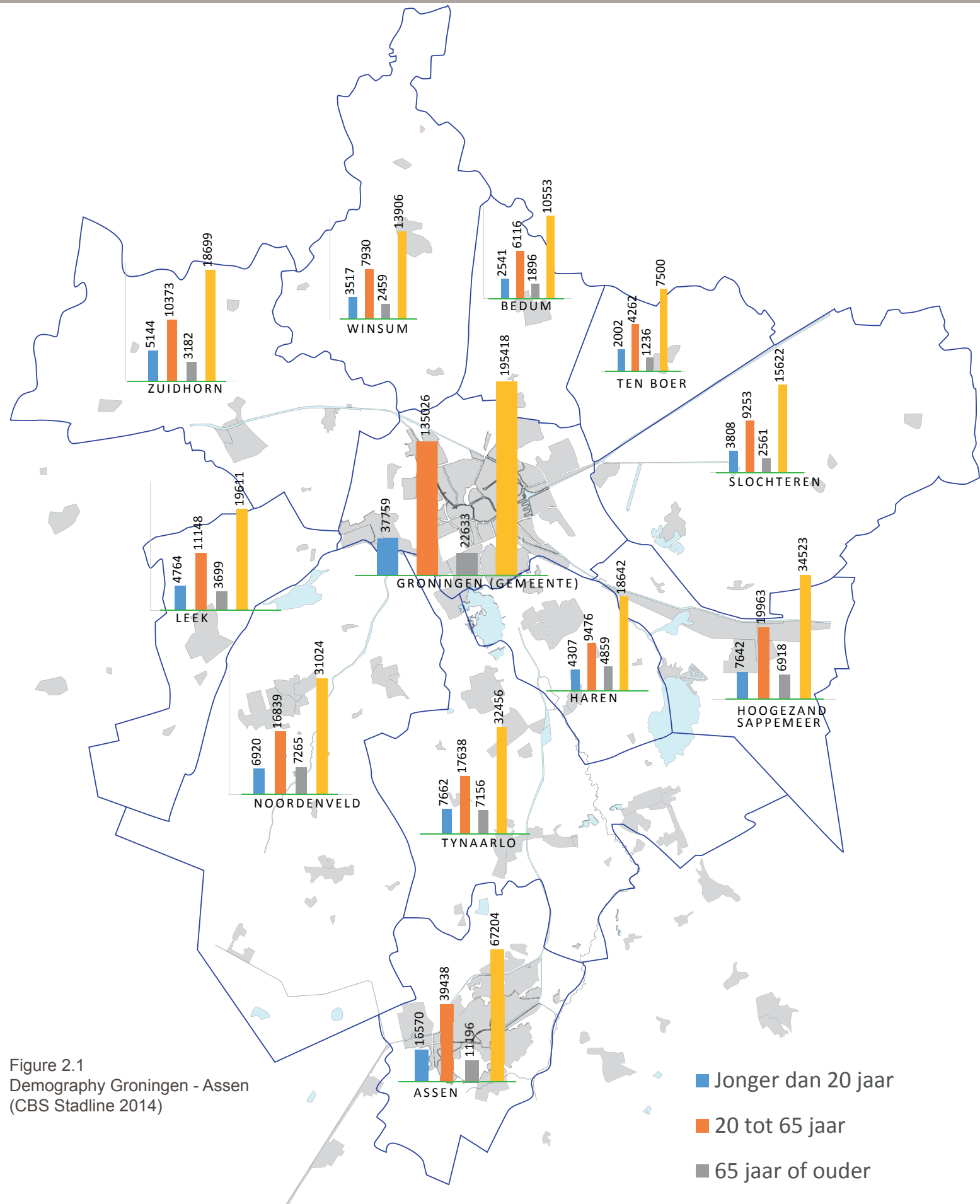


Figure 2.1
Demography Groningen - Assen
(CBS Stadline 2014)

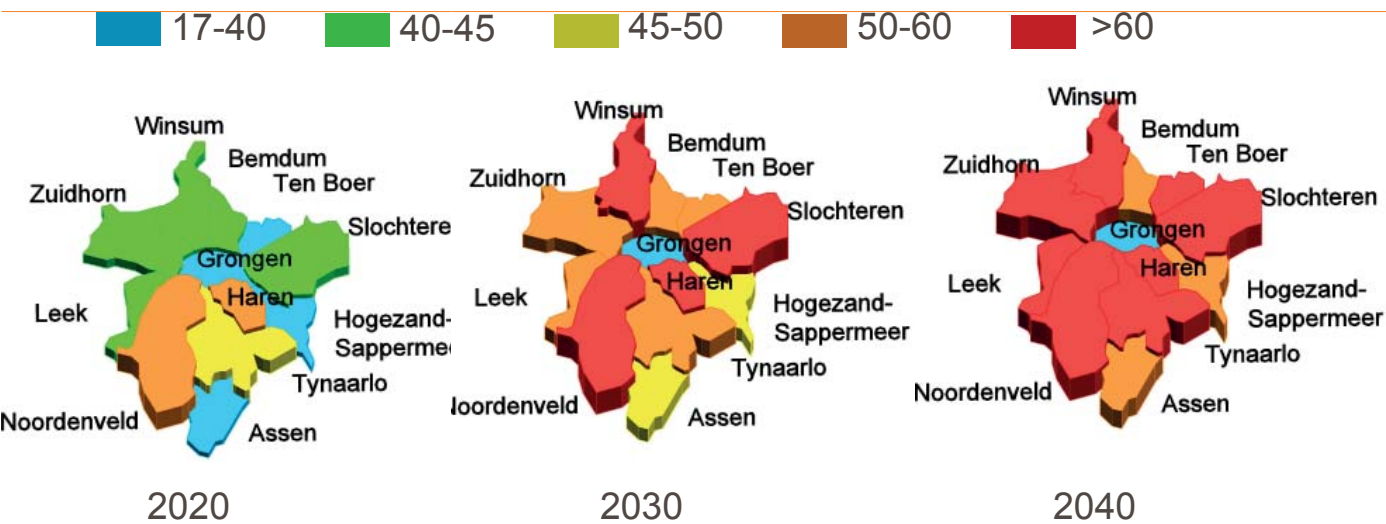


figure 2.2
Number of elderly (65+) per hundred 20 years of age
to 64 (Zorgatlas, 2013)

Demography

The city of Groningen counts 197.800 citizens (Bureau Onderzoek & Statistiek, 2014) and the city of Assen counts 67.204 citizens (Stadindex, 2014). Groningen and Assen are the cities with the largest population in the region Groningen - Assen. Also Groningen and Assen are the largest municipalities. Since 2013 the number of elderly starts to increase rapidly (Nationaal Kompas, 2014).

Trends

The demographics of the region Groningen - Assen shows that the aging population is increasing most rapidly in rural areas. It also shows that the municipalities Haren and Noorderveld in 2020 have to deal with a high aging population. Groningen is the only municipality that not has to deal with a increasing aging population. According to the CBS, the number of people over the age of 65 will rise from 2.7 million in 2012 to a peak of 4.7 million in 2041. Until 2060, the number continues to hover around 4.7 million. In the coming years, the 65-79 year olds increase. Also, the group aged over 80 years old will grow significantly. In 2040, the peak of people over 65 years old, it is estimated that 26% of the population over 65, a third of whom are older than 80 years. By comparison: in 2012 the percentage of people over 65 is 16%, of which 25% is over 80 years (Nationaal Kompas, 2014). As can be seen, the number of elderly is high in 2040 in the region Groningen - Assen.

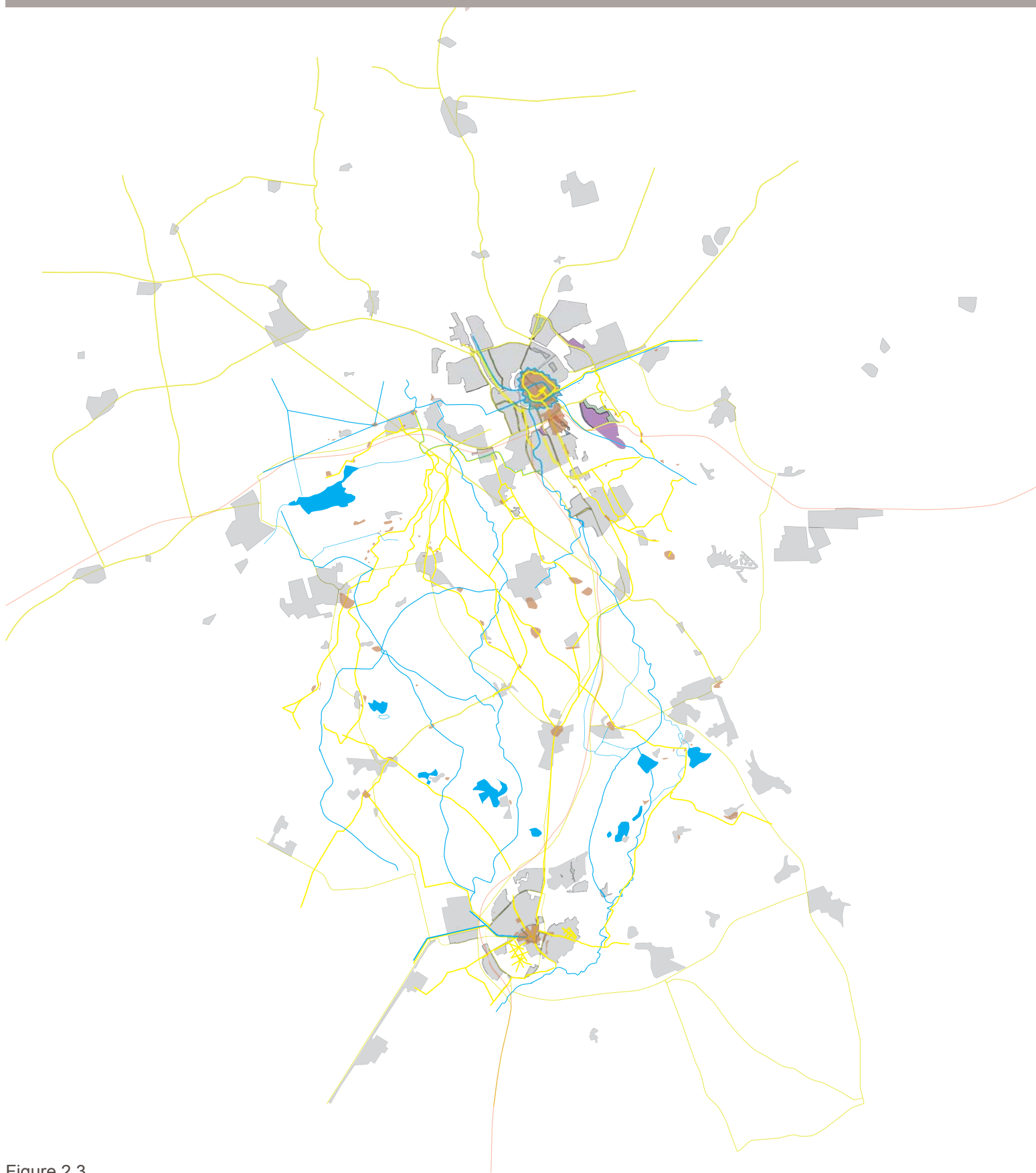


Figure 2.3
Developments 1850 Groningen - Assen
(watwaswaar.nl 2014)

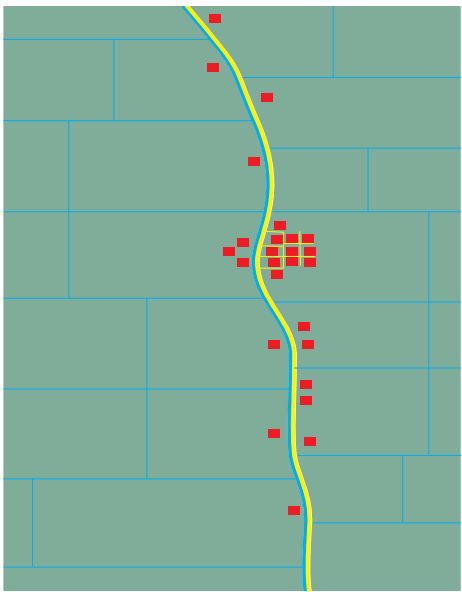


Figure 2.4
Development Groningen - Assen

History
In the history of the region Groningen - Assen, it is very clear to see that Groningen and Assen are the main cities in the region. The waterways shaped the main infrastructure. As seen in figure 2.3 & 2.5, the agriculture and development formed along the waterways. Irrigating the agricultural land also takes place through the waterways. Where once the towns and cities grew around waterways, the highways and major cities being built towards now which can be seen in figure 2.4 The former situation of the road network shows a web were there is little difference in highways and country roads. Nowadays, a plain T structure is seen in the region Groningen - Assen, which will be covered in the chapter about infrastructure.



Figure 2.5
Detailed chart 1850
Groningen - Assen
(watwaswaar.nl 2014)

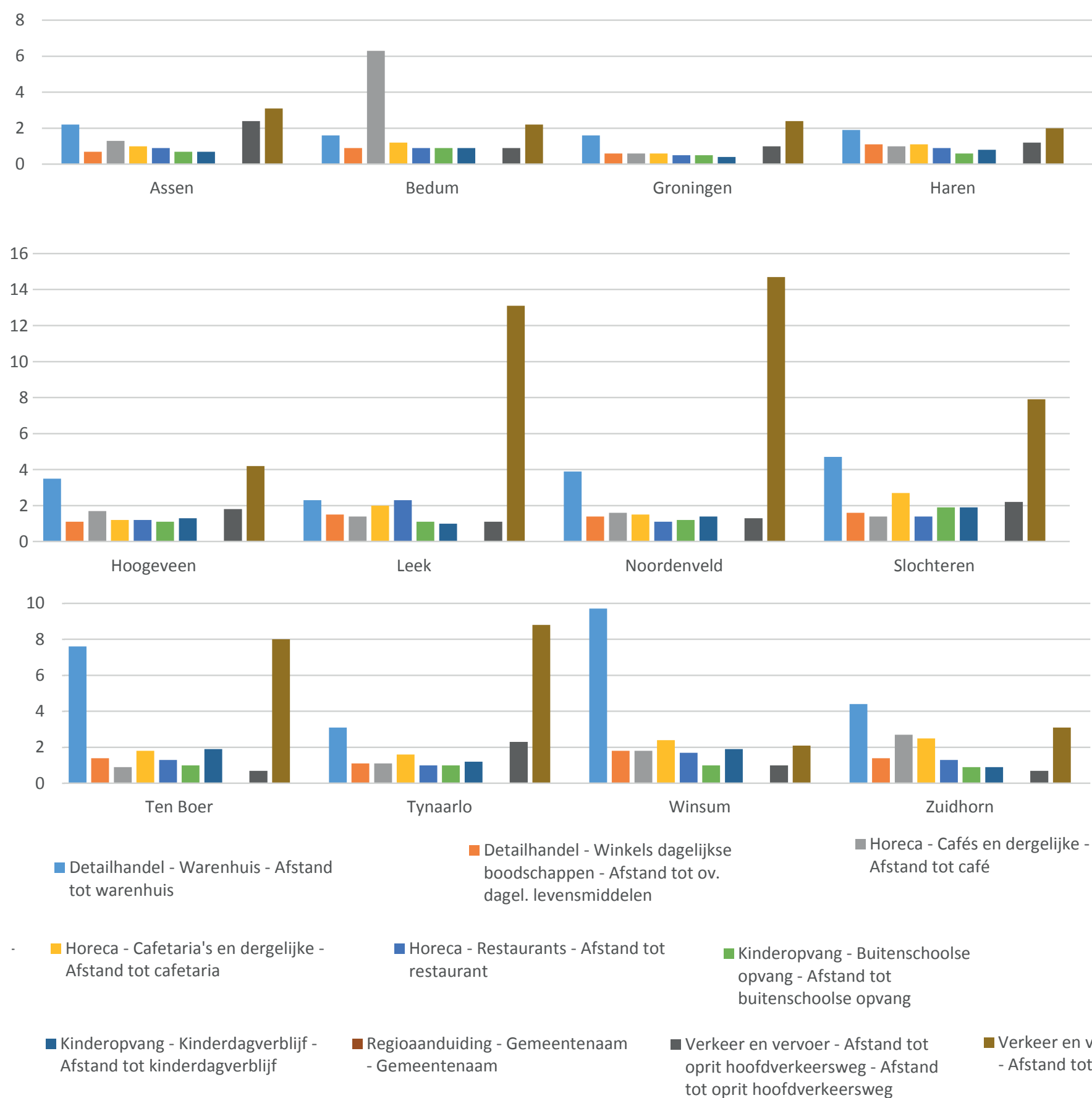
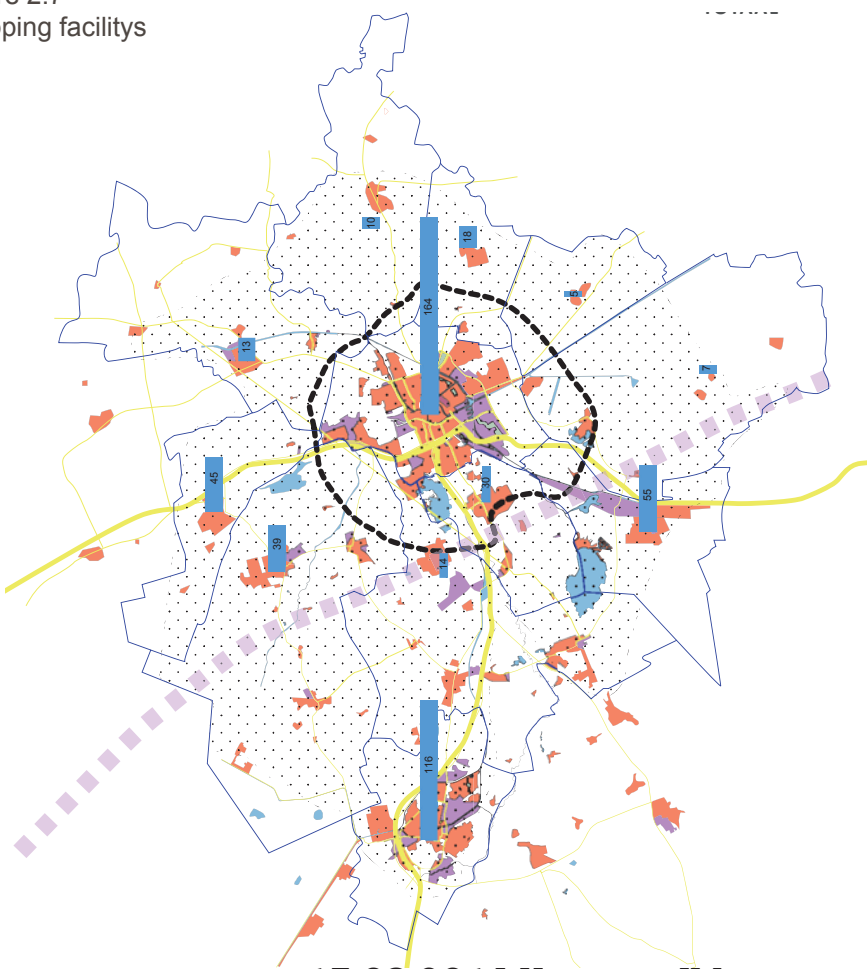


Figure 2.6
Distance to facilities
(CBS Stadline 2014)

Facilities

In the municipality of Groningen, most of the facilities and the distance to this facilities are relatively short. The municipalities that follow are Haren and Assen (figure 2.6). The daily features are available in the village. For shopping and entertainment, the cities of Groningen and Assen are recommended (Winkels-Nederland, z.d.). Figure 2.7 shows a clear difference in numbers of facilities of each municipality around the T-structure. Beyond the structure, the number of facilities is significantly lower.

Figure 2.7
shopping facilities



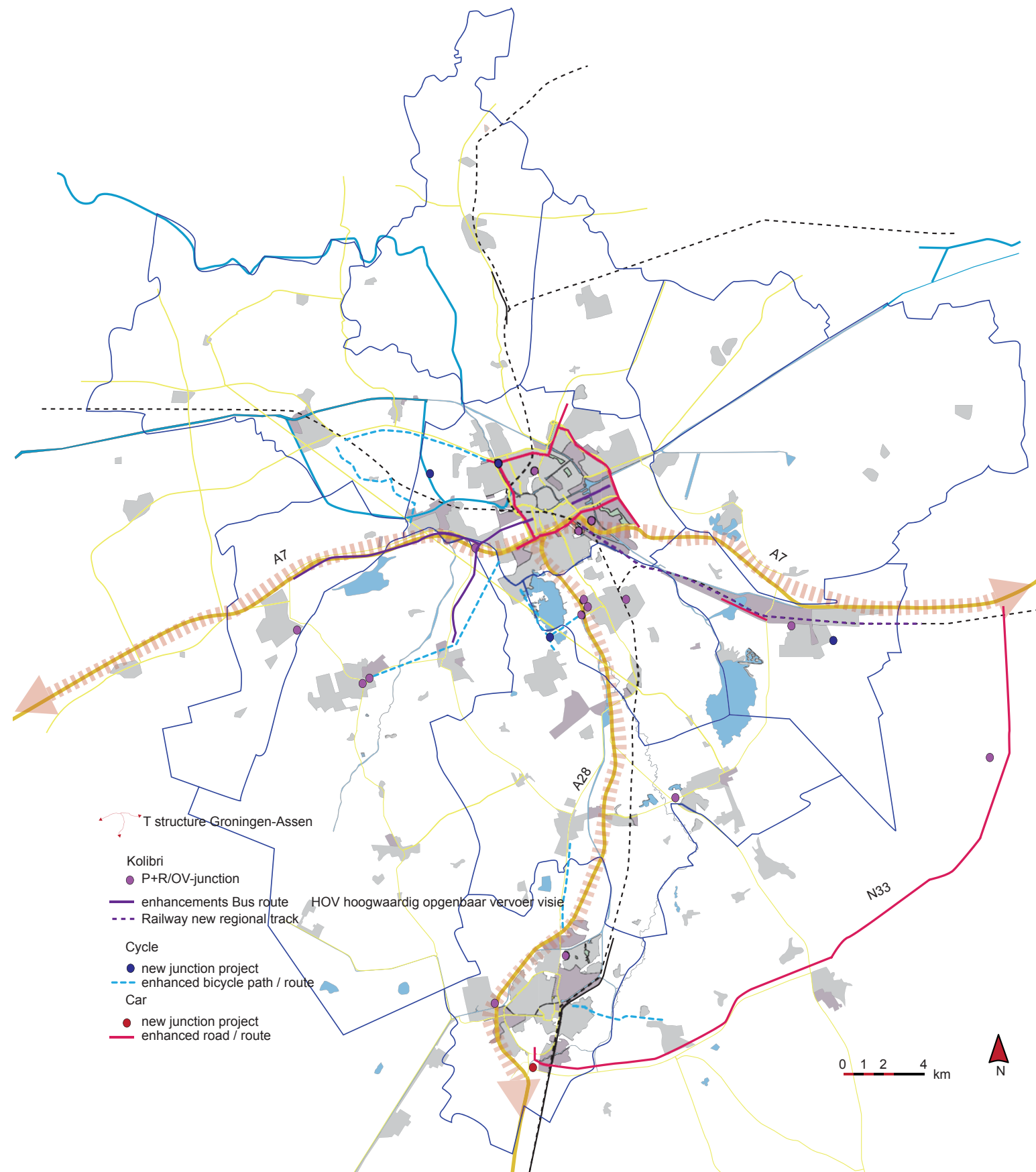


Figure 2.8
Distance to facilities
(CBS Stadline 2014)

Infrastructure

The highways in the region Groningen - Assen is a T-structure as shown in figure 2.8. The highways leads to Leeuwarden (West), Germany (East) and Zwolle (South).

Zuiderzeelijn

To make a direct connection between the Randstand (Amsterdam/Schiphol) to Groningen the government came with the plan 'Zuiderzeelijn'. In the 1980s, the plan to build a rail link between the cities already begun. The Zuiderzeelijn is never achieved by liberalisation and high costs (Schimming & Boedecker, 2005) (CPB, 2006). An alternative plan is the 'Superbus', a concept that is developed by Wubbo Ockels. The bus could reach a speed between 150-250 kilometers per hour. However, the question is to which the system is easy to be made compatible with existing rail and bus links with attractive connection points (Eekhout & Tomiyama, 2008).

Compensation plans

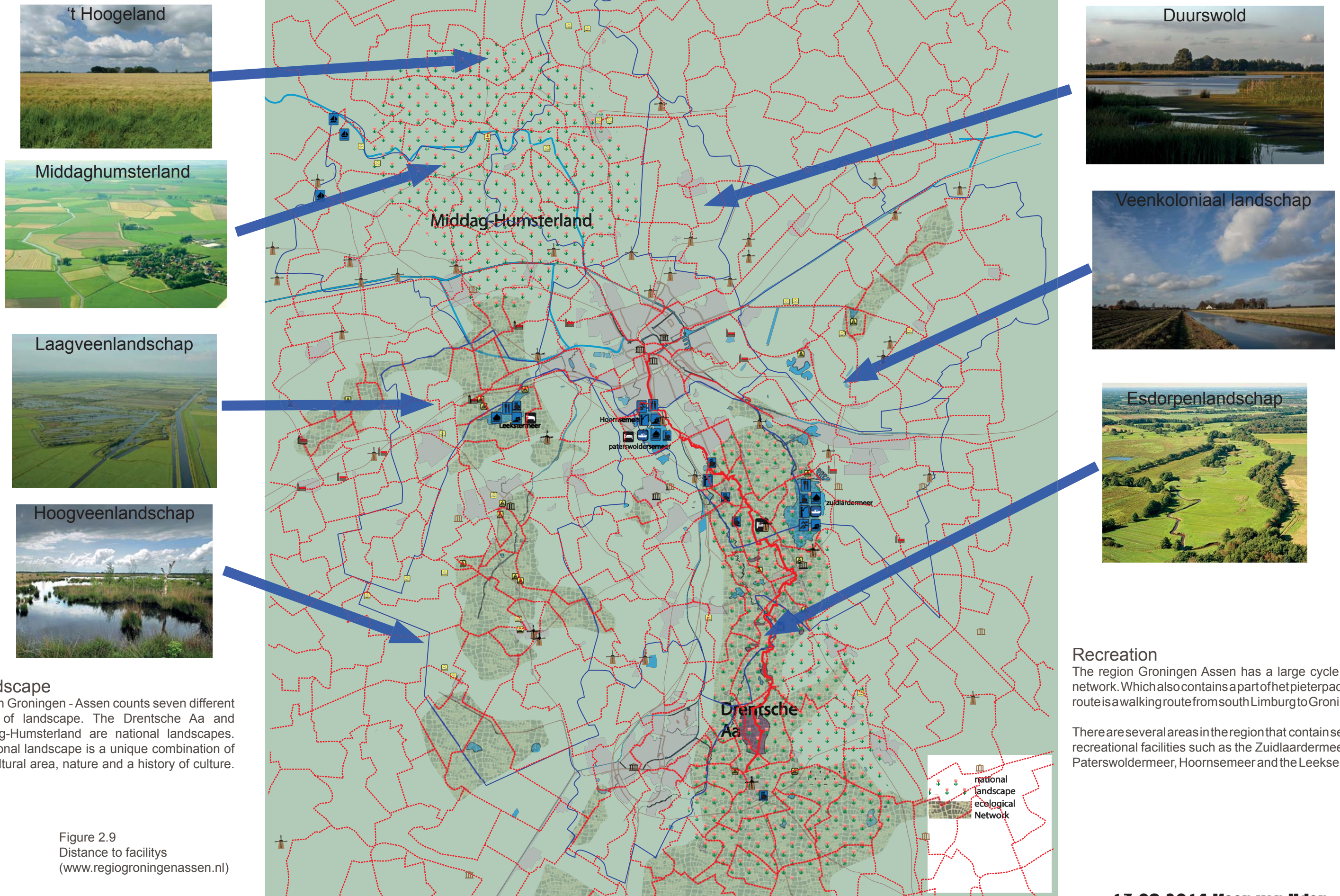
The northern provinces were given a compensation for venting the Zuiderzeelijn of approximately two billion euros to concrete plans to improve infrastructure in northern Netherlands. Possible compensatory measures for road traffic relate to:

- Southern beltway Groningen (almost completed);
- Hook to Leeuwarden in the N31 (completed);
- Doubling Rijksweg 33 Assen - Zuidbroek (completed);
- Improving junction Joure (completed).

Rail transport:

- Railroad Zwolle-Meppel-Leeuwarden and Meppel-Groningen: instance drive-through arches and pass tracks;
- Opening new station Assen-Zuid (cancelled);
- Railroad Zwolle-Emmen: track doubling and opening new station Emmen Zuid (completed);
- Railroad Leeuwarden-Sneek: more trains (achieved);
- Opening station Hoogkerk (not completed);
- Reopening Zuidbroek-Veendam (completed);
- Railroad Groningen-Heerenveen (cancelled);
- Project Kolibri: tramline in Groningen (cancelled), present realisation Q-link which works with bus connections.

Near Groningen there are also multiple P+R/OV junctions to relieve the traffic in the city of Groningen.



Landscape

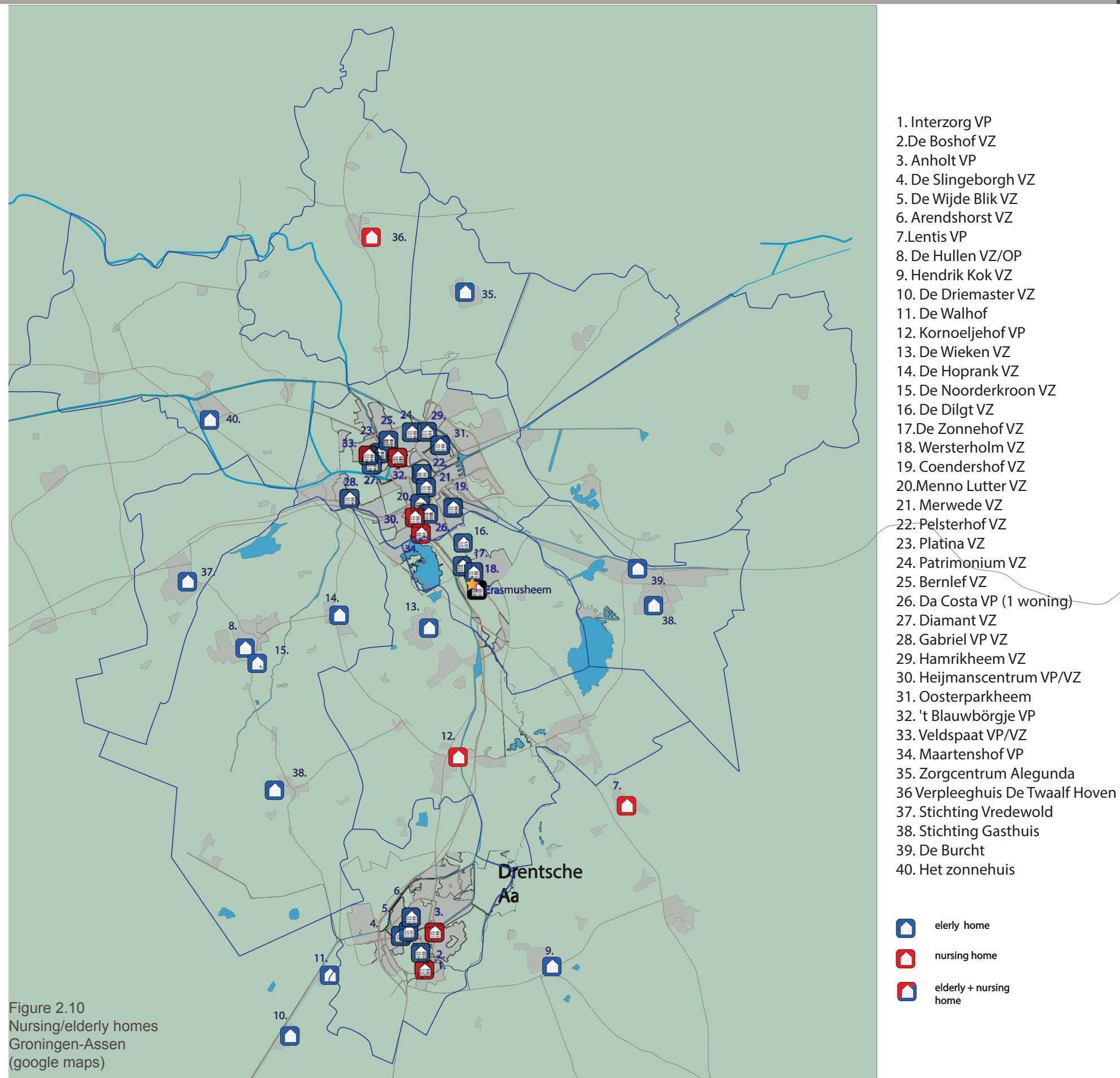
Region Groningen - Assen counts seven different types of landscape. The Drentsche Aa and Middag-Humsterland are national landscapes. A national landscape is a unique combination of agricultural area, nature and a history of culture.

Recreation

The region Groningen Assen has a large cycle track network. Which also contains a part of het pieterpad. This route is a walking route from south Limburg to Groningen.

There are several areas in the region that contain several recreational facilities such as the Zuidlaardermeer, the Paterswoldermeer, Hoornsemeer and the Leeksemeer.

Figure 2.9
Distance to facilities
(www.regiogroningenassen.nl)



Elderly and Nursing homes

There are about 40 elderly or nursing complexes in the region Groningen-Assen. The majority of the complexes are elderly homes. Because of the stricter admissibility, a part of these homes will change into nursing homes in the future (Zorgvoorbeter, 2014). The other part of the elderly homes will be closed (Berenschot, 2014). One elderly home, the Erasmuseum, is already closed. The main reason for the closure was the vacancy in the building. This is because of the uncertainty about the persistence and the function of the building. The other, most outdated, elderly homes in the Netherlands have similar problems. At the moment there are more than 800 elderly homes that are about to close (Berenschot, 2014).

Conclusion

From the geography conclude that the case occurs within the municipality of Haren. The demographics show that within the region Groningen – Assen aging is increasing most rapidly in the municipality of Haren and the municipality of Noordenveld. The municipality of Haren lies against the city of Groningen, which one can make use of the many and various facilities. The best accessible municipalities in the region Groningen – Assen are against the T-acis. Haren The landscape in the region Groningen – Assen is very diverse and therefore attractive for recreation. Haren is in an ideal situation in which it is to re-join through a transfer point, the train or car to the city of Groningen within fifteen minutes. In addition, Haren lies against a rural area where recreation in nature is possible. Also, the vacancy of the former nursing home ‘Erasmusheem’ offers a possibility to develop plans.



Figure 2.11
Age of buildings in Haren
(<http://dev.citysdk.waag.org/buildings/>)

Historical building structure

The municipality of Haren has developed a ribbon along the main roads. After 1970 shows that behind these buildings areas have been set up on project basis. Especially in the core are many buildings hundred years of age or older. Almost all intuitional buildings are forty years old or younger.



- supermarket
- fysio therapy and sport
- mental coaching and psychology
- elderly care
- helth care
- services
- public functions
- food and eating
- hairdresser and beautycare
- Jeweler
- childcare and school
- car and transport
- design
- electronics
- bicycle repair
- flouwers and plants
- construction and materials
- day care
- shops general
- school dance/music

Social structure

In the municipality of Haren, there have been established over more than 240 home businesses. Striking is the large share of mental coaching and psychology. In addition, there is a large share of hairdressers and beauty specialists.

Figure 2.12
Facilitys and companys in Haren

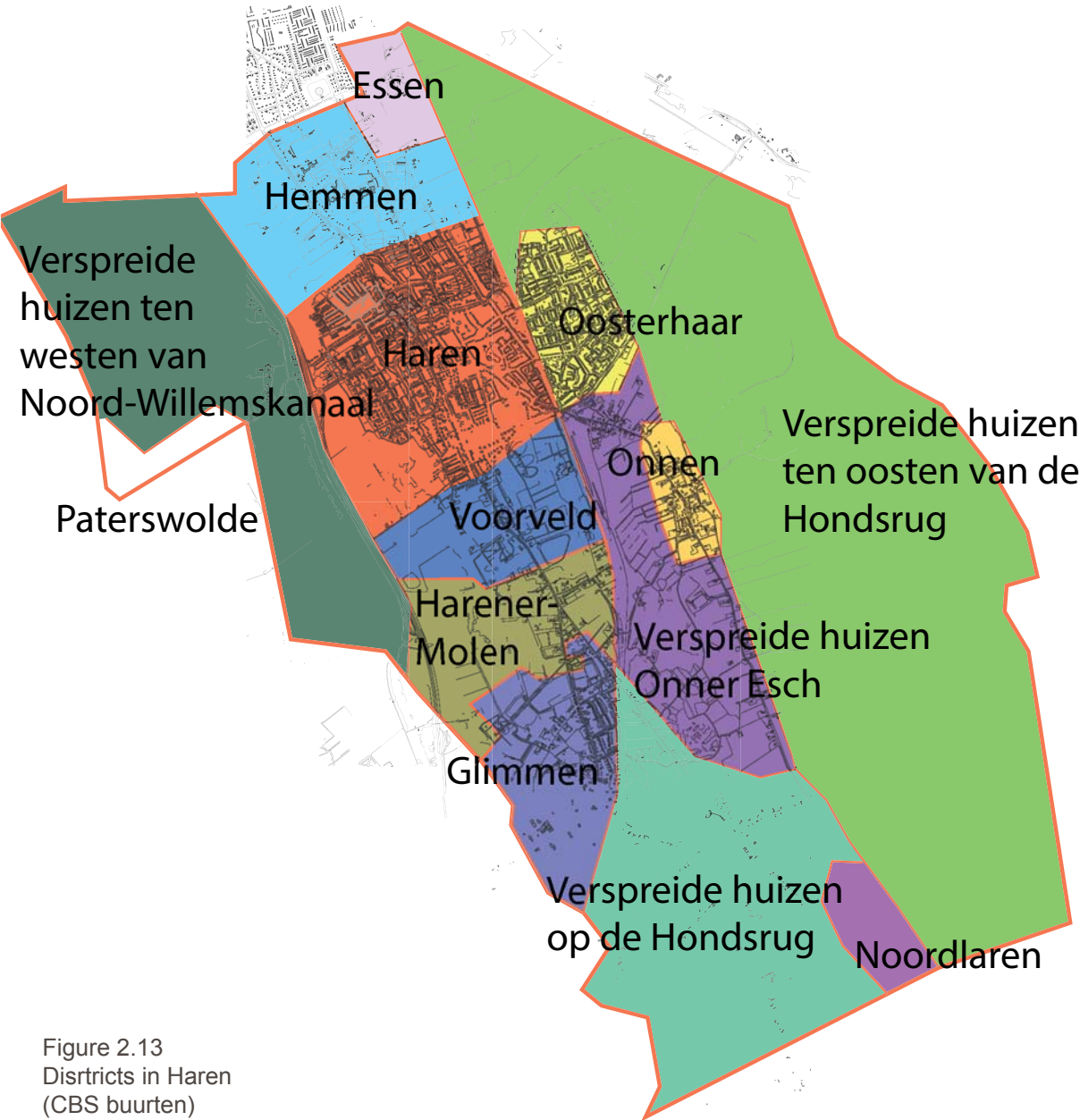


Figure 2.13
Districts in Haren
(CBS buurten)

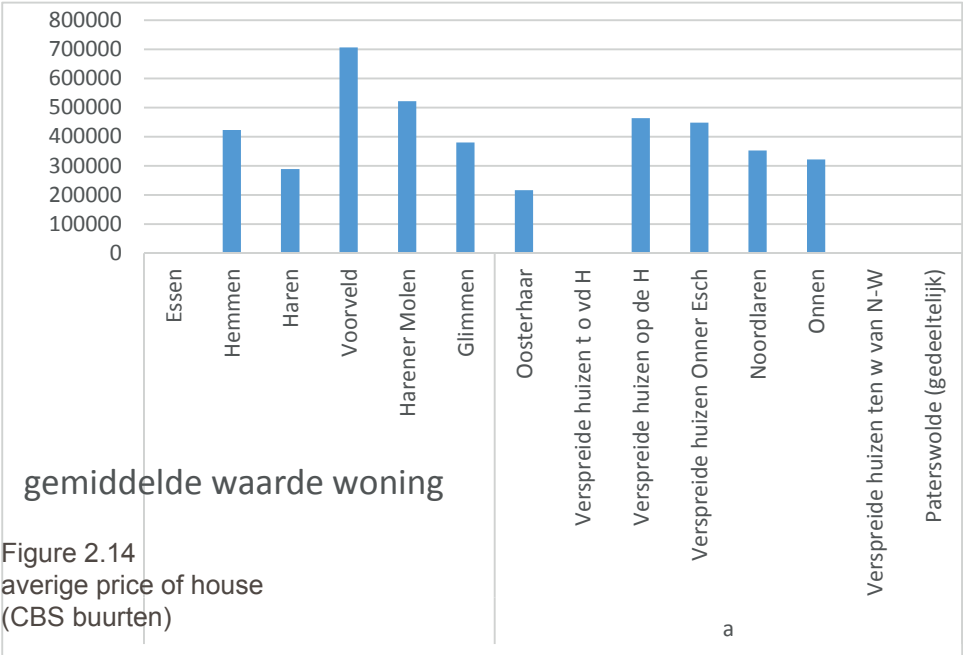


Figure 2.14
average price of house
(CBS buurten)

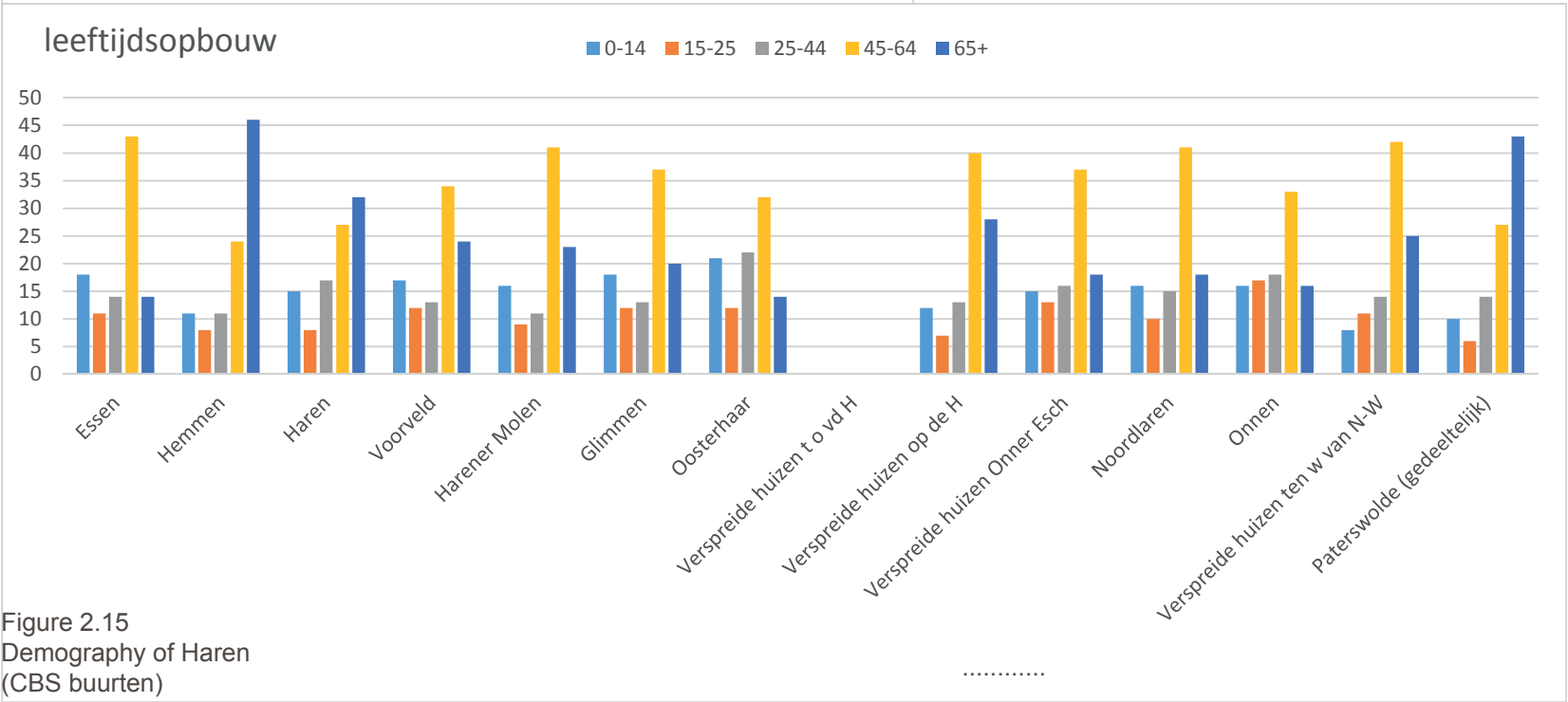


Figure 2.15
Demography of Haren
(CBS buurten)



- € 350.000 +
- € 350.000-€ 250.00
- € 250.000 -

Haren is known for its expensive housing prices. If we look at the prices in the neighbourhoods we see that the neighbourhoods with houses on the main roads are the most expensive. There are also more expensive homes that are not on the main roads but are in a more expensive neighbourhood. Haren knows not only expensive buildings but also has neighbourhoods that are common for the middle class

Figure 2.16
Housing value per neighbourhood
(Funda)

2.12 Ambitions of Haren

02 Meso

Figure 2.17 Political point of view of faction within the Municipalities (site municipalities)

	D66	GVH	VVD
Sustainability	<ul style="list-style-type: none"> Large scale bet on insulation at existing buildings; Information from commune and simplified procedures; Cooperation with housing associations. 	<ul style="list-style-type: none"> Sustainable homes 	<ul style="list-style-type: none"> Opportunity for economic development and yield; Information on saving; Reduce waste and promote recycling.
Spatial plans	<ul style="list-style-type: none"> The village of Haren should be continued as 'Harens'; Basically not build in green areas; Direct consultation with stakeholders about zoning plan; Review of resident is important in setting frameworks; Build sustainable and where possible life-proof; Custom housing for the elderly in desired diversity (in terms of sale and rental); In favour of collective construction; Preventing vacancy of stores due to new developments; More social buildings. 	<ul style="list-style-type: none"> Build life-proof homes; Cherishes parochial values and qualities; Keep the feel of a village; Local policy and focus on the identity of the green, bustling, sportive village and connecting values; More houses for starters, stayers seniors and returnees; Now are many buildings in the upper segment; Convince housing associations, developers, estate agents and landlords to build and renovate in the value segment. 	<ul style="list-style-type: none"> Building district Haren Noord must pass through; The municipality needs the income of the housing; Maintaining the characteristic of the 'Harense' qualities in a rural setting; Clear frameworks and abolish aesthetics committee.
Economy	<ul style="list-style-type: none"> Good management education; Accompany as many people as possible to a full-time job; Offer space to get innovation in local and smaller businesses. 	<ul style="list-style-type: none"> Facilitate as many entrepreneurs; Shuttle and rent-bikes from the 'transferium' and station to the centre of Haren should be part of a discussion between entrepreneurs and the municipality; Easing the parking policy 	<ul style="list-style-type: none"> Encourage entrepreneurs by giving them space; Lower administrative expenses; Opening on Sundays should be possible for operators, as long as the 'winkeltijden wet' allows it; For the catering industry should, where possible, exist opportunities for example terraces; Encourage collaboration between education and business.
Socially	<ul style="list-style-type: none"> Speak up own power of residents when implementing the WMO and participation law; For elderly, the municipality will use scarce resources for the necessary care with less bureaucracy; Reducing bureaucracy but space for creativity and innovation; Rely on their own strengths of voluntary initiatives by residents and providing space and facilities as necessary. 	<ul style="list-style-type: none"> Focus on citizen participation; Volunteers are more important, therefore early involvement in implementation of plans and policy development; Support initiatives from people as much as possible; Facilitate volunteers. 	<ul style="list-style-type: none"> Individual choice central; Sets the responsibility of the elderly themselves first; Attention to lifetime homes and healthy ageing research; By research of the UMCG increase welfare of the elderly; Social services for people who are unable to provide for their own necessities of life.
Infrastructure	<ul style="list-style-type: none"> Bike is an important, healthy and sustainable transport. Therefore: main bike trails, bike corridors and more bicycle parking spaces. 	Not available	Not available

Key points coalition municipality

Given the several plans in development, there will be no room for new ambitions in the field of spatial planning. The focus is on the existing plans in Haren and the outer villages. The municipality will be informed of the manner in which the municipality of Assen itself realizes social housing. They investigate whether this also provides an opportunity for the municipality of Haren in Haren-North, DHE, subarea 5. In the implementation of the WMO, the self-reliance of people optimally addressed. Support and care are required for people with diminished own strength, but must have its own power aims –where possible- to open or strengthen and, where necessary, supplement. This may mean that in one case, care is provided and in the other case promote suffice with a helping hand. Custom work is a great challenge for professionals in the field. For access to social support and care, community teams will be formed around the doctor and nurse. Around the district teams the local organizations made products and services that meet the demand. The municipality of Haren committed for sustainable construction, sustainability of existing buildings and for small-scale renewable energy generation within the municipality. Initiatives form society can –within the laws and financial possibilities- expect a positive attitude of the municipalities.

Zonnehof

The ‘Zonnehof’ in Haren is a residential care center for small-scale living. It is a residential institution where people live with a ZZP package of 4 or higher. In addition to providing housing and care, there is also an outpatient basis. In addition to residential care, the Zonnehof provides home care.

Maarwold

Maarwold is a service flat. Residents can buy an apartment. After purchase, the inhabitants are member of the cooperative. The board and executive board ensure the management. To spread the risk, individuals can also buy apartments and hire them to another. On Maarwold is no age limit. An example of a apartment that is for sale is 100m2 with three rooms for €180,-. The service is composed of:

- Daily hot mail (own kitchen);
- Central heating, water use and water heater rental;
- Maintenance building, grounds and facilities;
- W.A. insurance, building insurance;
- 24 hour home care service emergency by Zorggarant;
- Cleaning common areas, garbage collection;
- Use recreation;

The individual service includes:

- Domestic help;
- Laundry;
- Guest rooms;
- Catering facilities;
- Extra meals for your guests;
- Mail and newspaper delivery;
- Caretaker.

Westerholm

Westerholm is a care center that consist 60 single and double apartments. There are also 16 assisted living apartments that are built in the private sector. It is a residential institution where people live with a ZZP package of 4 or higher.

Residential care centre ‘De Dilgt’

Residential care centre ‘De Dilgt’ is a centre in a green environment. ‘De Dilgt’ offers different living arrangements in the field of independent living and living under supervision. The Chopin, Mozart, Vivaldi and Dilgtweg are residential home centres, which can provide home care. By bringing facilities together, it is possible to share so work more efficiently.

Residential care centre ‘De Dilgt’

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Chopin

The Chopin is a residential block of 22 apartments with four floors. Within the Chopin are two types of apartments: apartments of 60m2 (€930,- per month) and apartments of 120m2 (€1750,- per month).

Mozart

The Mozart is a residential block of 38 apartments with five floors. The apartments are 60 m2 and the costs are €825,- per month.

Vivaldi

The Vivaldi is a residential block with 20 apartments with five floors. The apartments are 95 m2 and the costs are around €725,- per month.

Dilgtweg

The Dilgtweg is a U spaced complex with various apartments. The surface is 50 m2 till 70 m2 and the costs are €650,- per month.

Sassenstate

Is the current Erasmusheem.

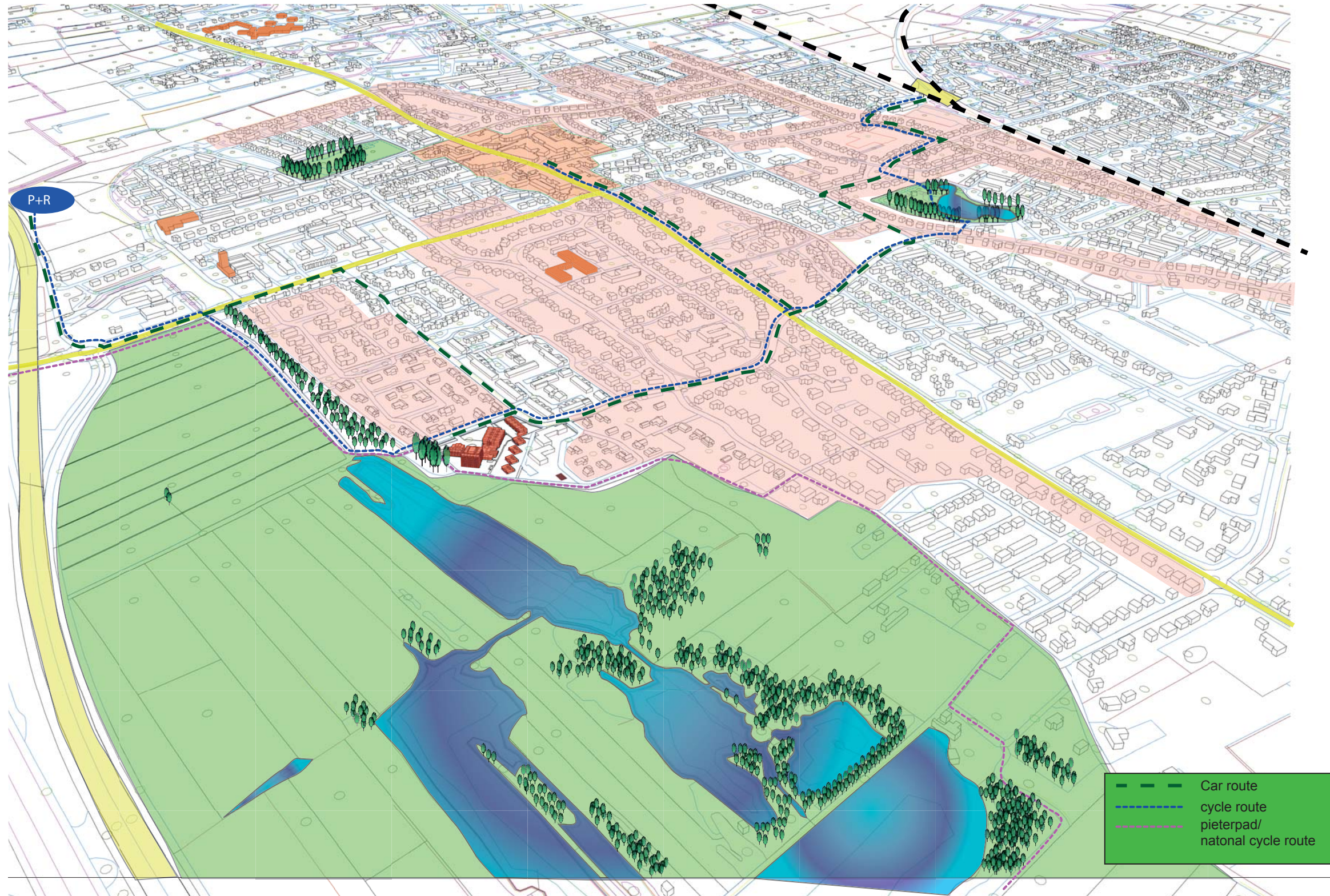


Figure 2.18 overview of location

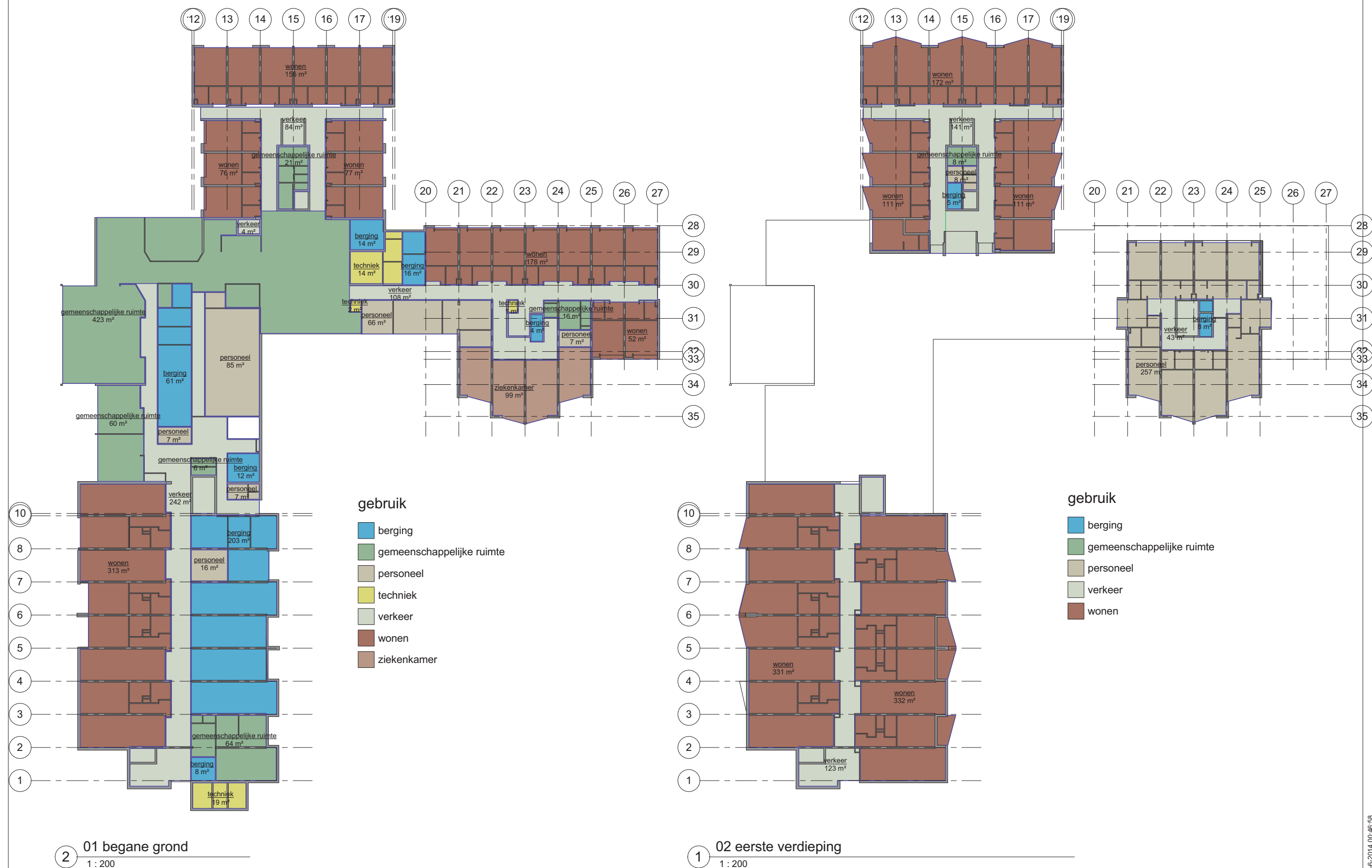


Figure 2.19 building plan

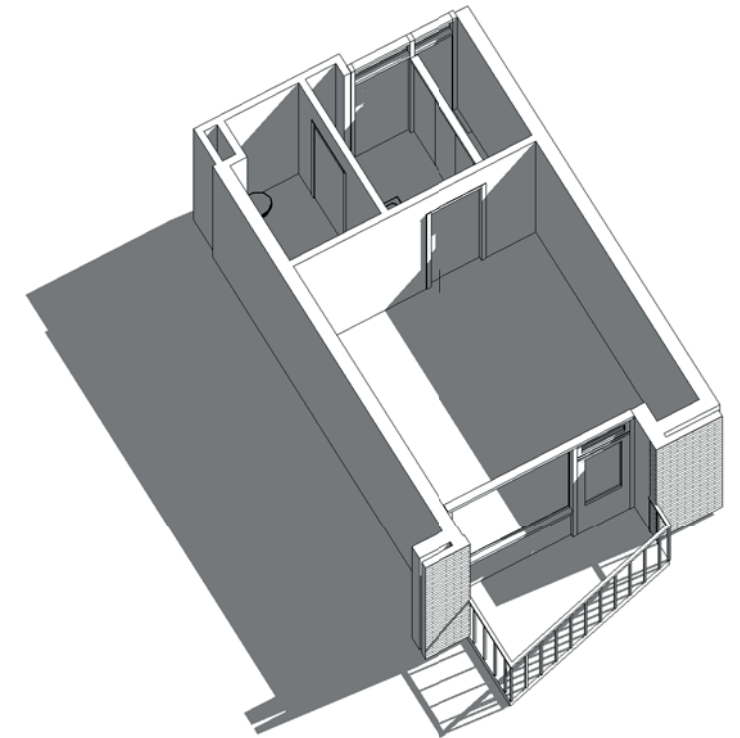
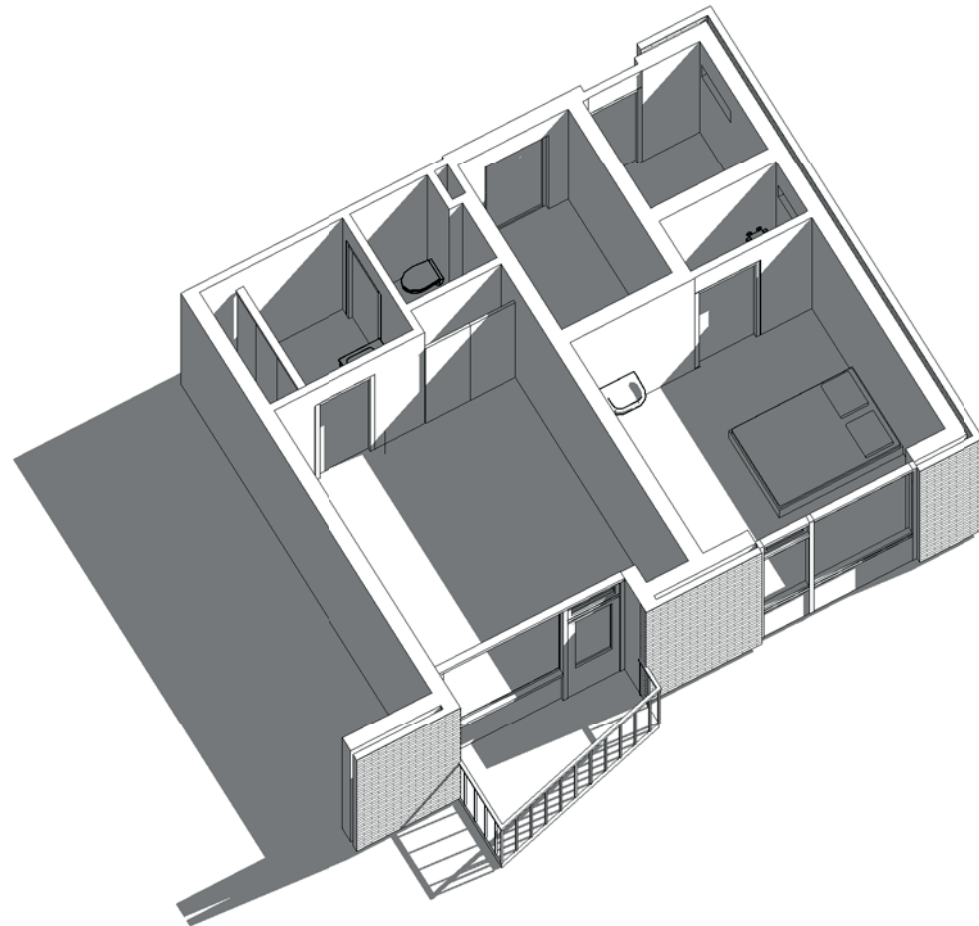
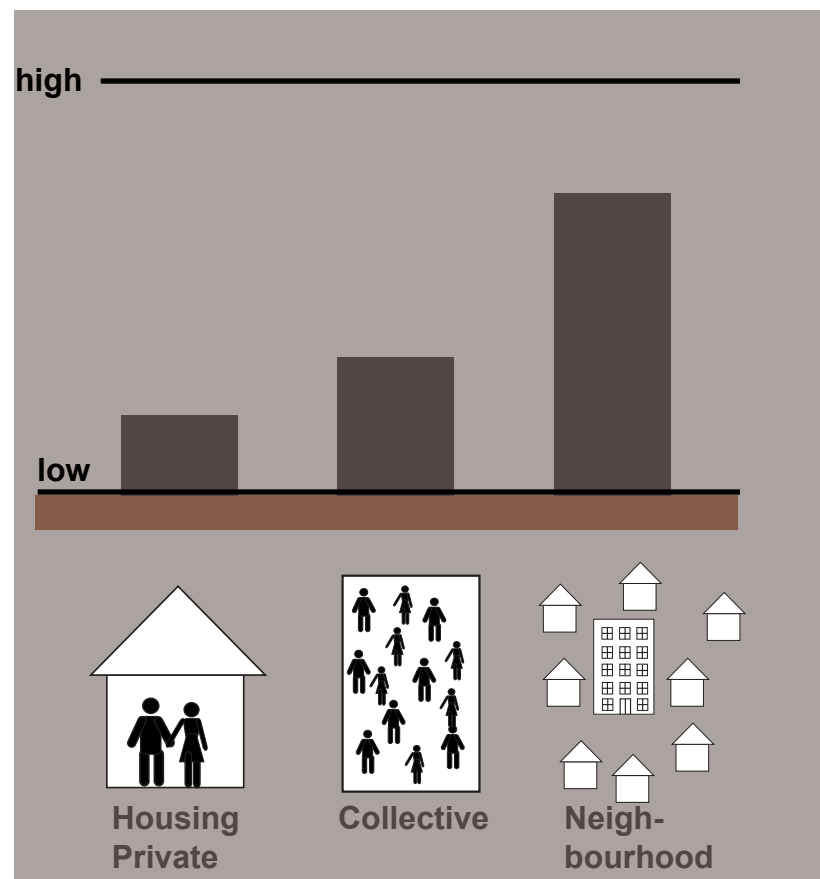
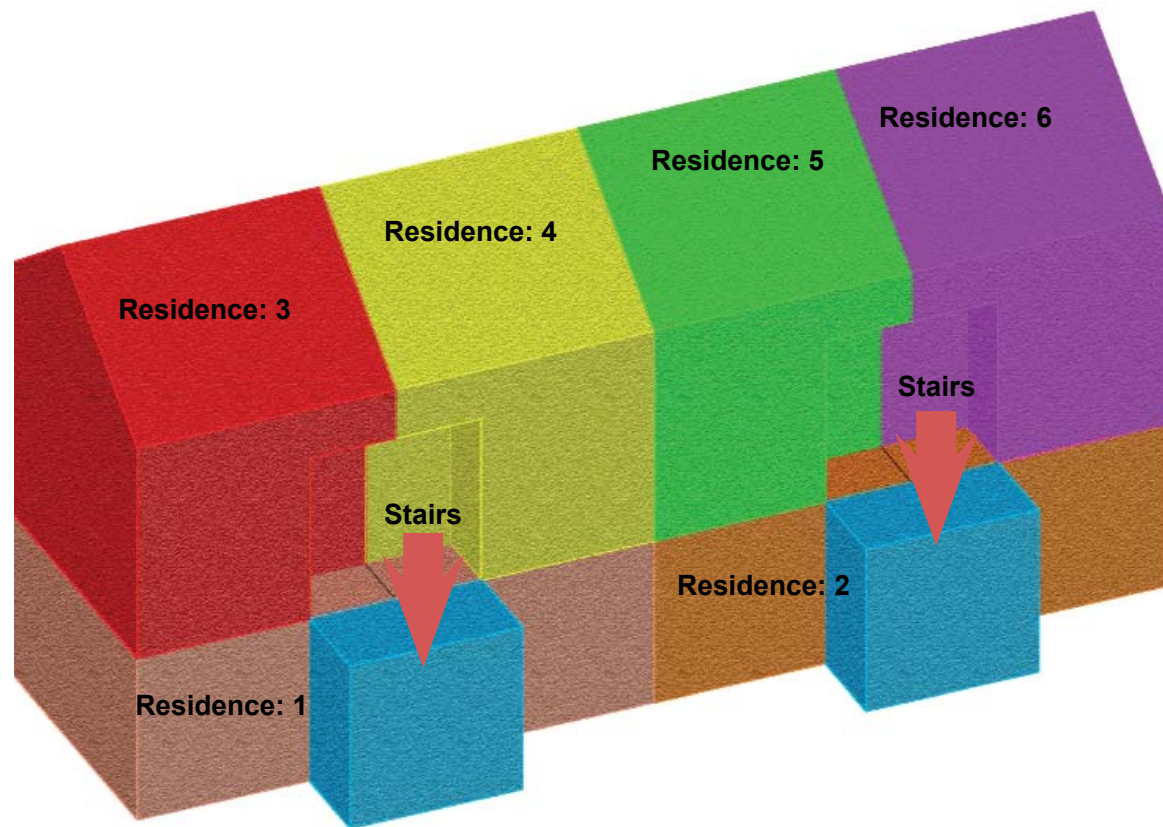


Figure 2.21 apartments

2.17 building envelope

Figure 2.22 building envelope

03 PAST



Social

The complex is located at the edge of Sassenheim and in a residential area. The houses look like normal residential houses and are combined with a large garden. Because of the scale of the complex and the large garden it is a very public area. Because of this it is very easy to make connection with the neighbourhood.

Physical

The houses themselves look like normal residential houses and also have the same dimensions of residential houses. The doorway is very small and the houses on the first and second floor have no elevator or ramp. So the houses are not wheelchair friendly. It is safe to conclude that these houses are designed for vital elderly. So the building is not designed for an entire life course.

Economical

The building is built as a normal residential house and there are no expensive facilities, so the build cost is low. The large garden is the place where the inhabitants and the neighbourhood can meet and do their activities. A large garden does not contribute to high building costs but is expensive because the ground is expensive. The complex is already demolished. The main probable reason for this will be that the ground was so valuable that the municipality or housing association could make more money building residential houses on the plot.

3.1 Existing nursing homes Bejaarden woningen Sassenheim 1953

03 PAST

locatie:

Sassenheim

architect:

Romke de Vries

opdrachtgever:

Coöperatieve woongemeenschap van bejaarden

aantal wooneenheden:

22 woningen

Aantal Blokken

3

oppervlakte wooneenheden:

Onderwoning 42,4m² Bovenwoning 39,9m²

Aantal bouwlagen

Blok 1&2: 2

Blok 3: 3

Bouwtype

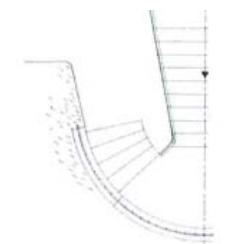
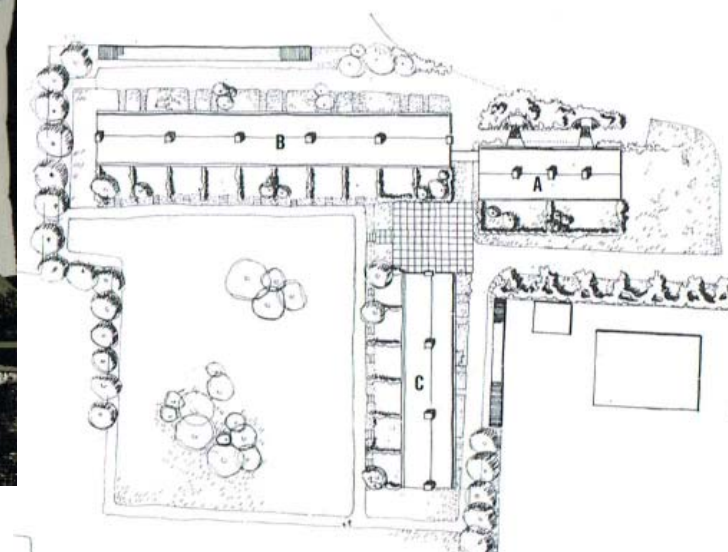
stapelbouw/metselwerk

Algemene informatie:

De woningen ogen als “gewone” eengezinswoningen.

Doordat er smalle deuropeningen zijn en veel hoogte verschillen zijn zonder lift is de woning niet rolstoel vriendelijk.

Stedenbouwkundig heeft het complex een ruime opzet met veel openbaar groen.



Situatie

- A Blok 1: woningen van het 'twee-op-een-type'
- B Blok 2: eengezinshuizen
- C Blok 3: eengezinshuizen

3.2 Existing Nursing homes De drie hoven Amsterdam 1975

03 PAST

locatie:
De drie Hoven Amsterdam

architect:
Herman Herzberger

opdrachtgever:
Stichting Nederlandse Centrale huisvesting van
bejaarden amsterdam

aantal wooneenheden: Aantal Blokken
bouwdeel 1: 55woningen 1 centraal blok

bouwdeel 2: 171 eenheden

bouwdeel 3: 250 bedden

bouwdeel 4: 21 eenkamer woningen

oppervlakte wooneenheden:
26,1m²

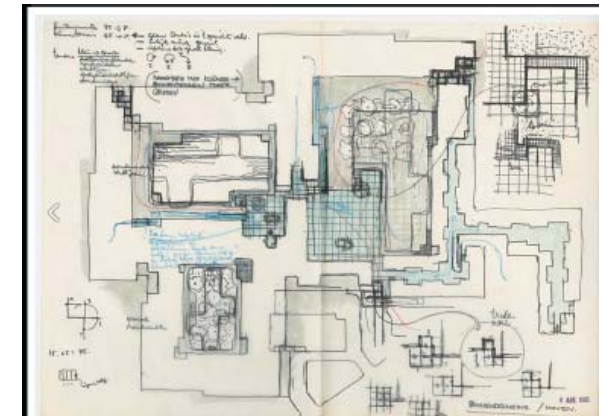
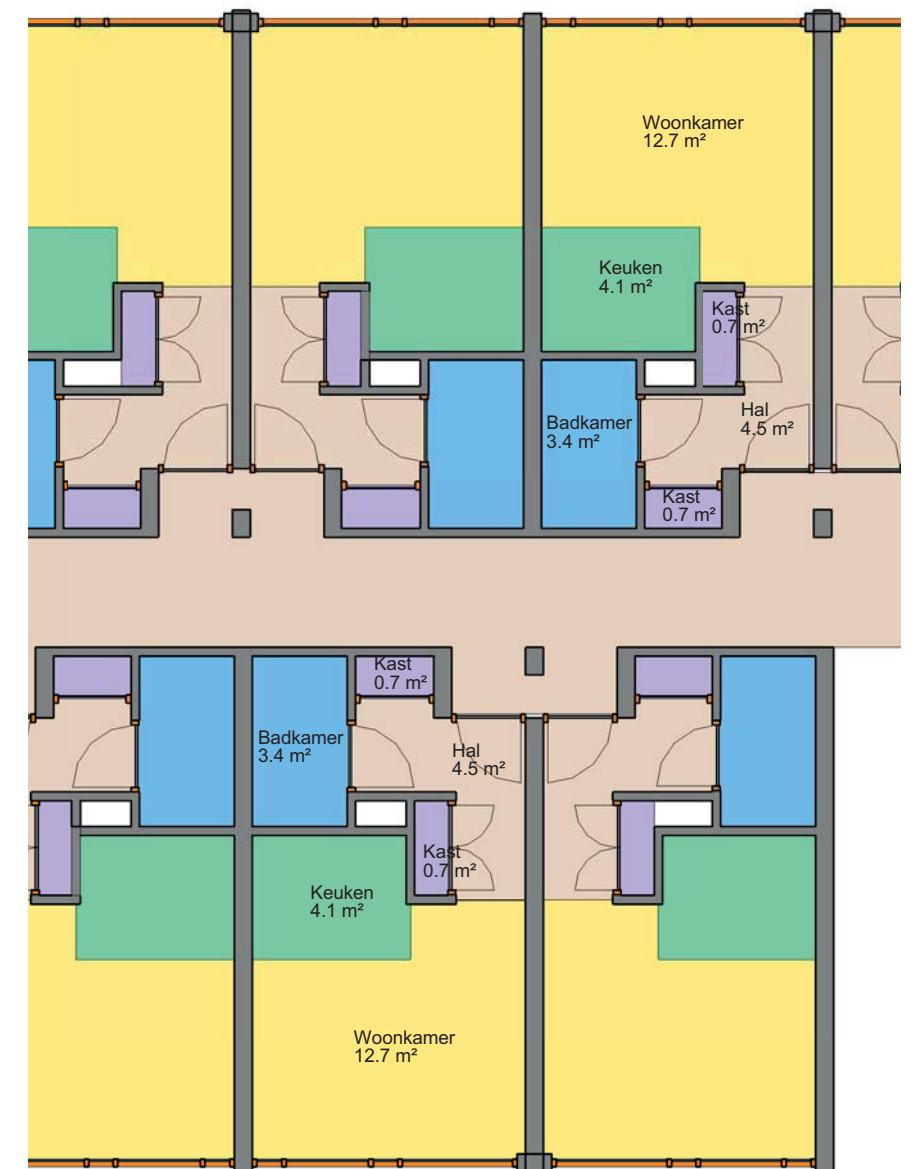
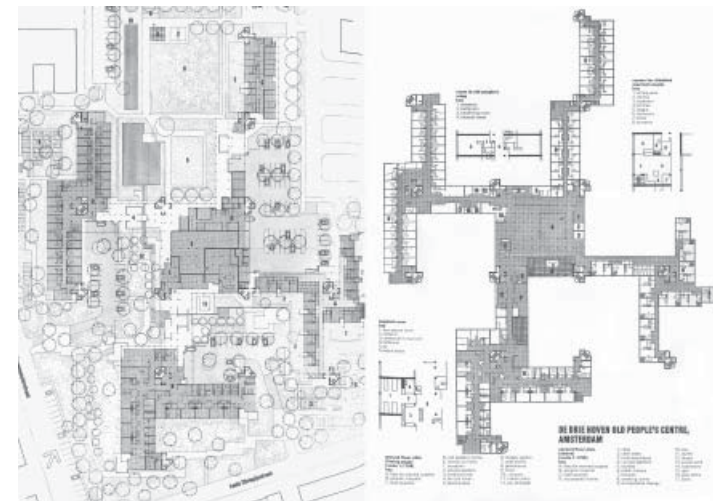
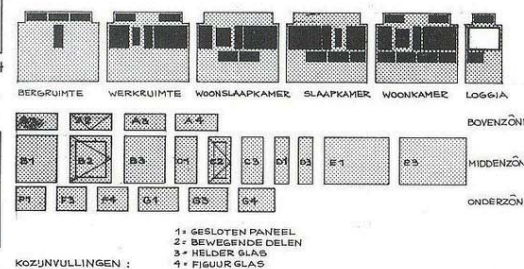
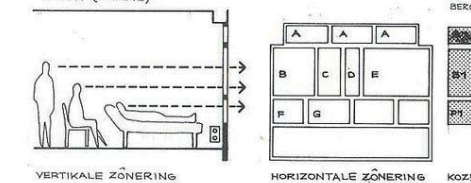
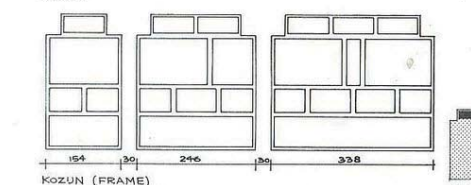
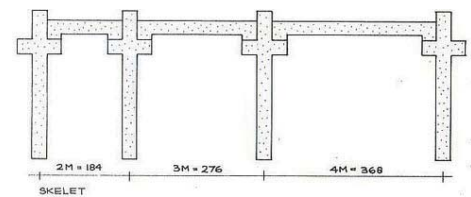
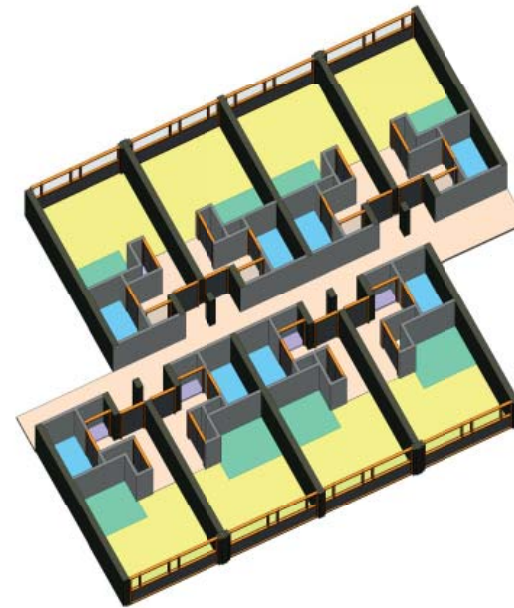
Aantal bouwlagen
5

Bouwtype
beton skeletbouw met prefab elementen.

Algemene informatie:

De driehoven is bestemd voor lichamelijk en geestelijk-gehandicapte ouderenzorg. Het gebouw bestaat uit een centraal gedeelte met daaromheen 4 vleugels (uitwaaiers) bouwdeel 1 is bestaat uit woningen voor echtparen bouwdeel 2 is een verzorgingshuis bouwdeel 3 is een verpleeghuis voor langdurig zieken en bouwdeel 4 is een personeelshuis.

In het centrale gedeelte komen verschillende functies bij elkaar, zoals: een centrale ontmoetingsruimte, winkels, een kroeg bibliotheek, biljart ruimte, kapper, wasserij, werkplaatsen en bergingen. Het complex is opgezet zodat mensen elkaar zo veel mogelijk ontmoeten. Het centrale gedeelte functioneert als dorpsplein en de hallen functioneren als straten. Het complex is gebaseerd op een maatsysteem waarvan de kleinste eenheid een module van 92 cm is.

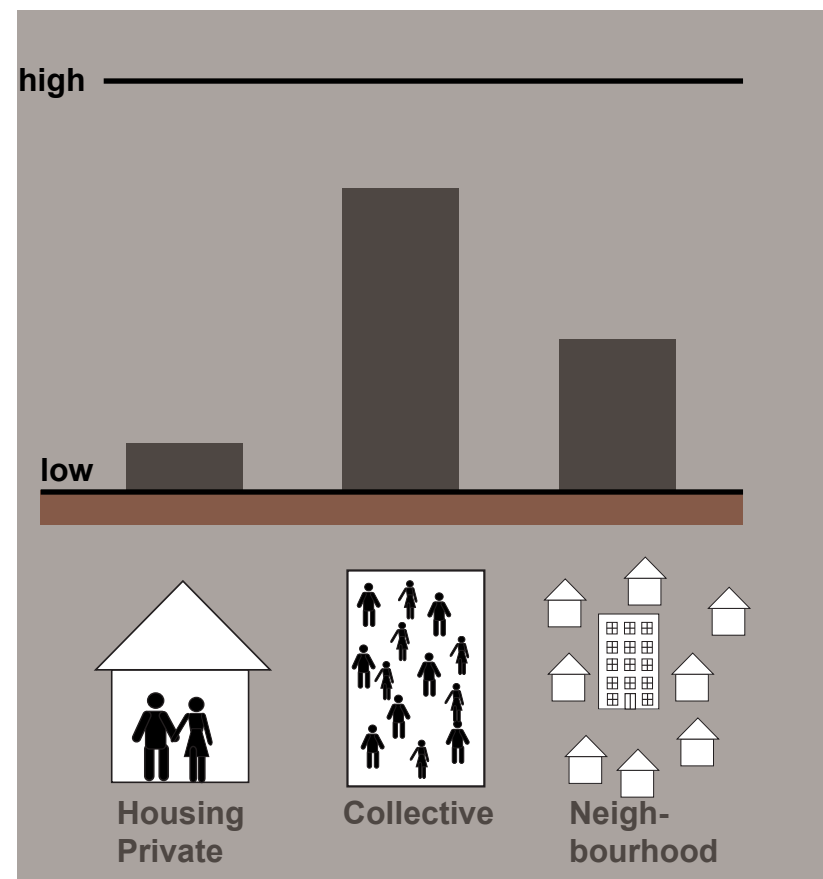
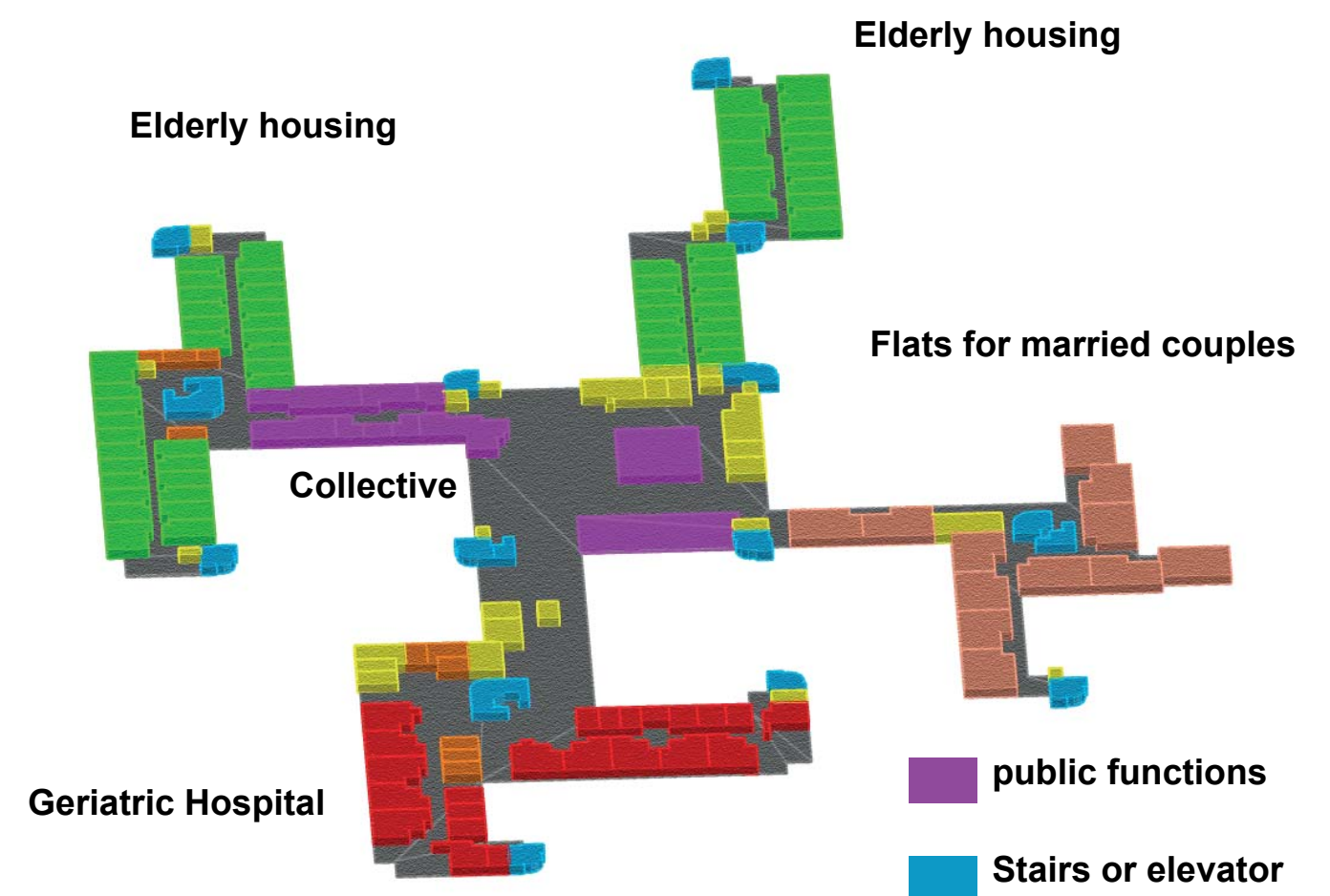
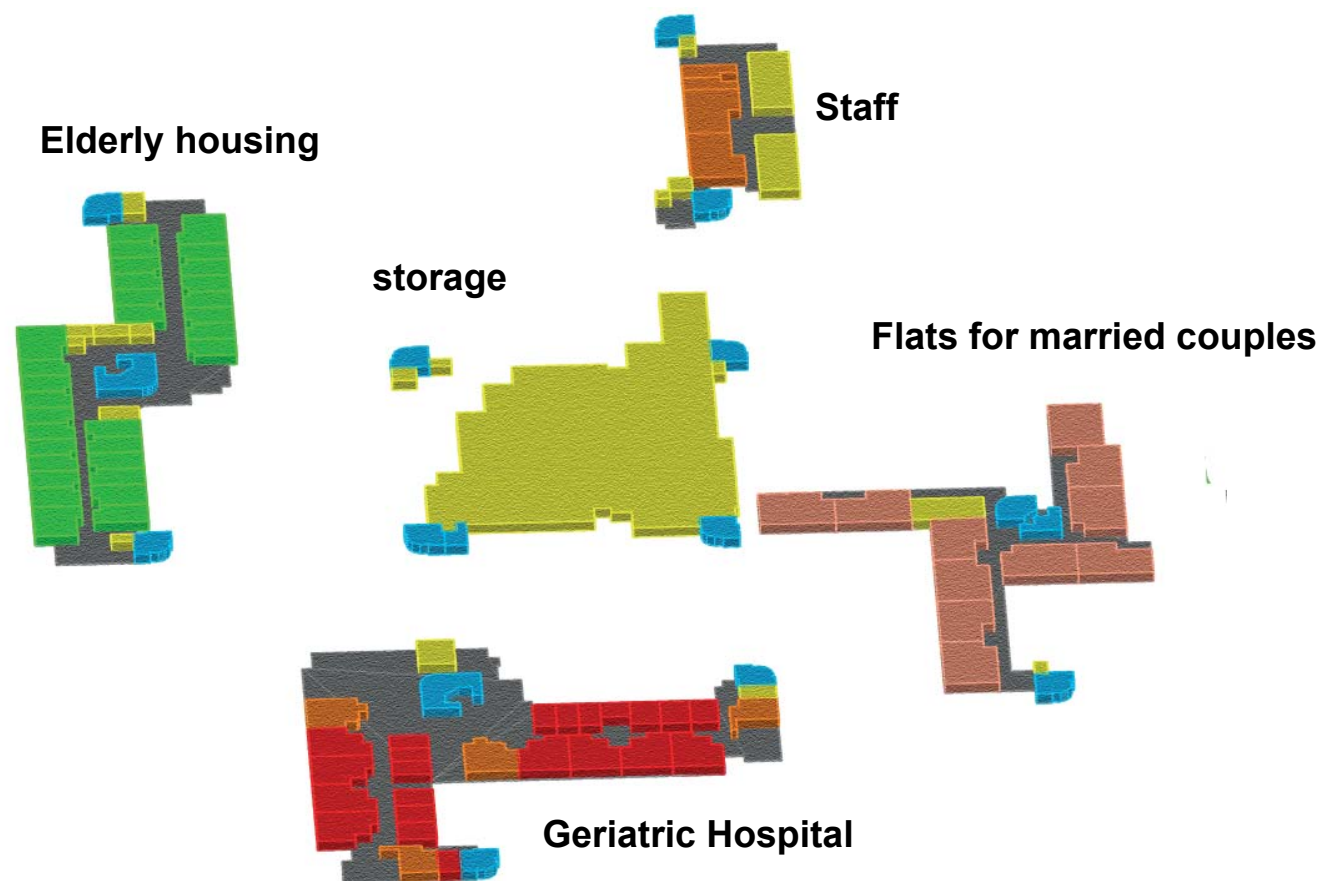


3.2 Existing Nursing homes De drie hoven Amsterdam 1975

03 PAST

first floor

second floor



Physical

The complex has 7 elevators and only has 5 blocks, it also has large corridors so the building is well accessible for wheelchairs and riding beds. The construction is made up out of a concrete skeleton with generic filled panels. So it could be very flexible in its layout. Never the less it is demolished in 2005 because it didn't met ARBO standards, people wanted larger apartments and live more independent.

Economical

Because of the large collective space the apartments would not be lettable without funding of the government.

3.3 Existing nursing home Senioren huisvesting Tilburg 1995

03 PAST

locatie:

Tilburg

architect:

Wiel Arets

opdrachtgever:

Stichting verenigde Woningcorporaties, Tilburg

aantal wooneenheden:

67

Aantal Blokken

2

oppervlakte wooneenheden:

60,7 m²

Aantal bouwlagen

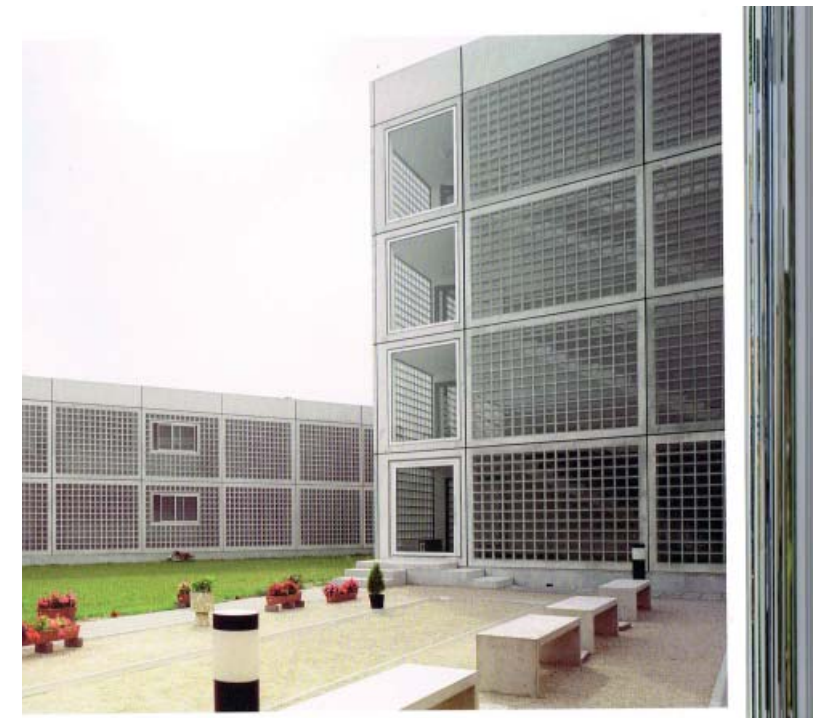
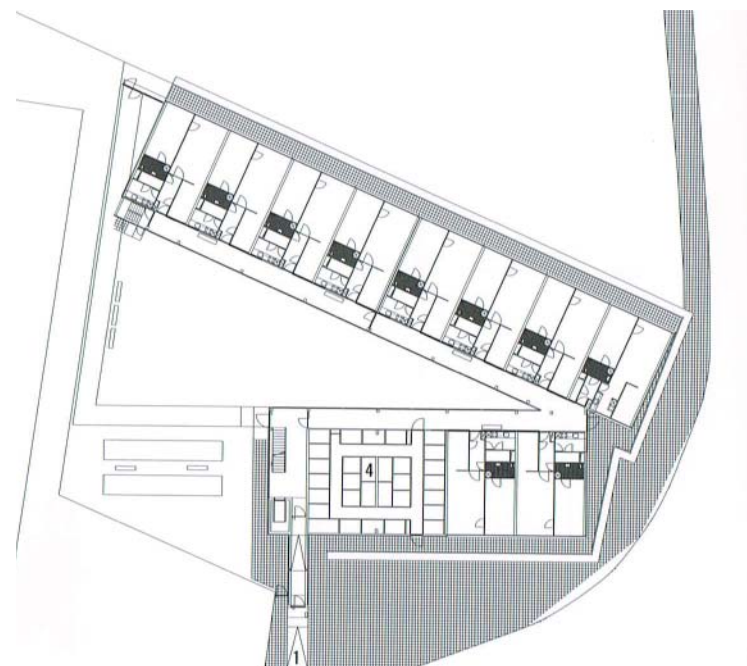
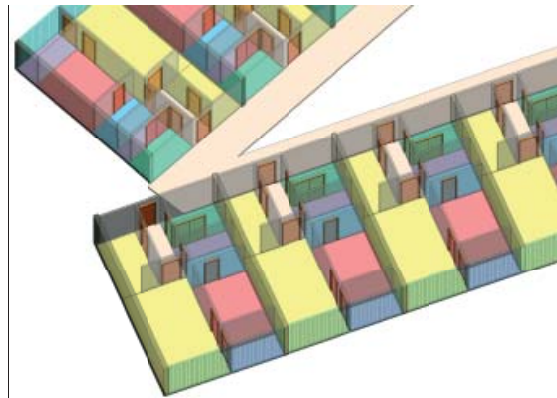
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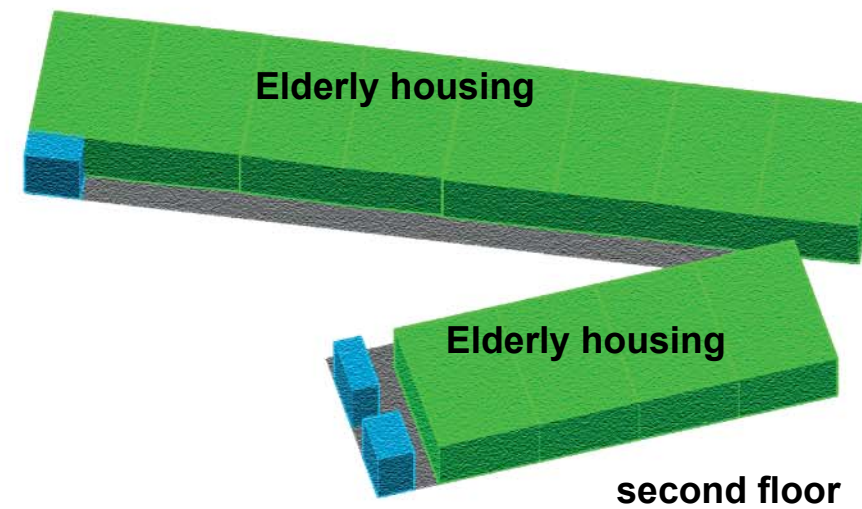
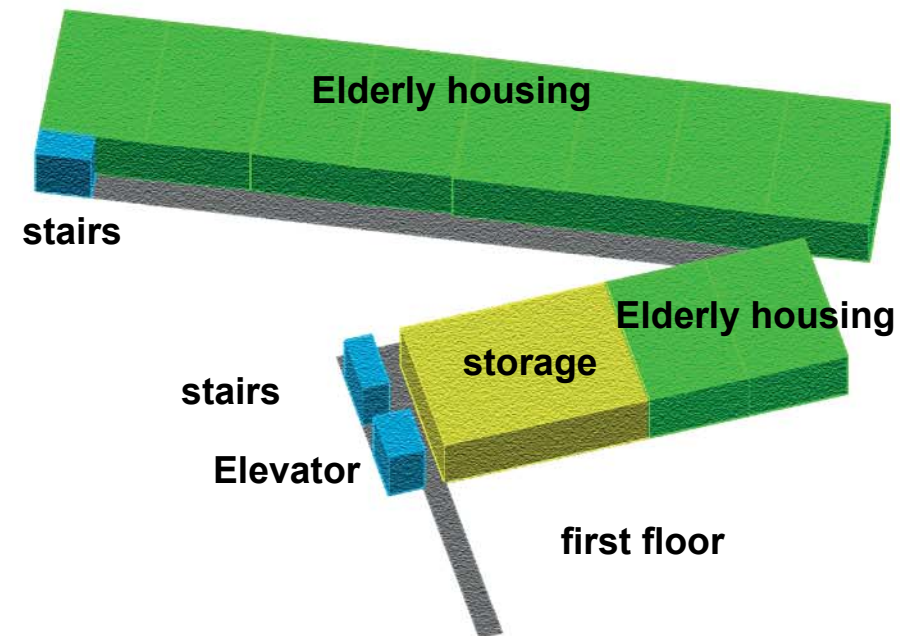
Bouwtype

beton tunnelbouw navragen

Algemene informatie:

Het complex is minimalistisch opgebouwd. De gevel bestaat uit een aantal grijs tinten en glazen bakstenen. Het complex kenmerkt zich door een smalle entree die opgetrokken is uit glazen bakstenen. Het complex is V vormig en aan de binnenzijde van de V is een galerij gesitueerd. Er bevinden zich geen balkons in het complex.





Social

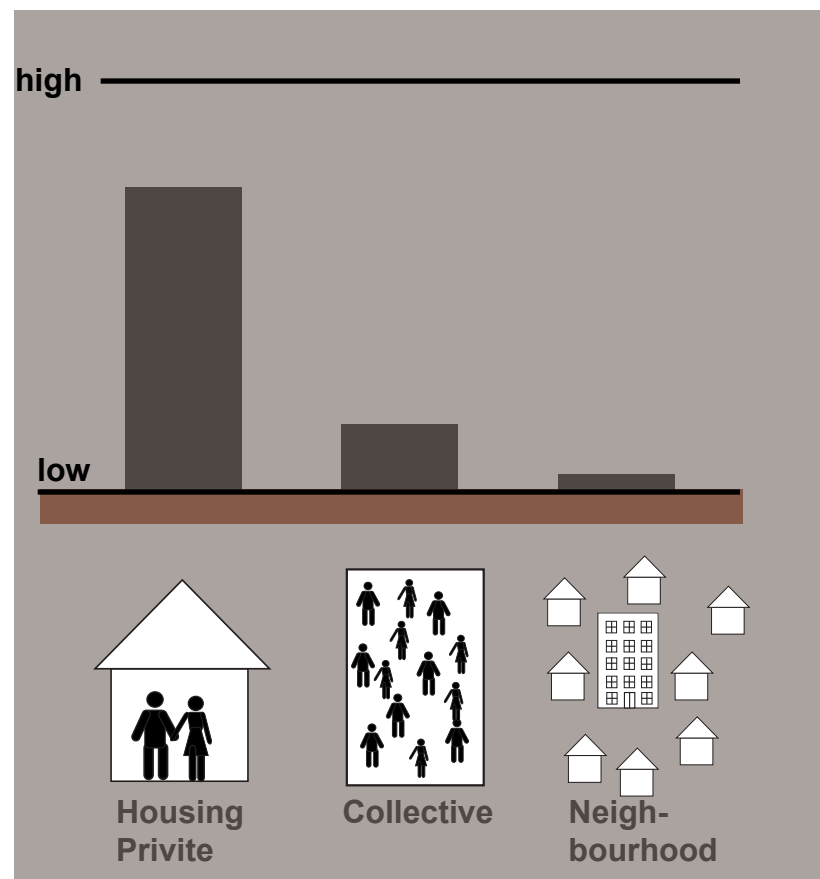
The garden in the middle of the complex is private. There are no balcony's. So the only place to meet or see other residents is in the gallery or garden. There are no extra functions where new people can meet. The building is mainly focused on living in the apartments.

Physical

The complex does not have a place for personal. So the main focus of the building is on living and care at home. The apartments are relatively large and have hobby or study room. The building has a minimalistic design with precise detailing of gutters and windows.

Economical

Because of the absence of collective areas the main use of the floor plan is living. This makes it very cost effective to rent an apartment.



locatie:
Amsterdam-Osdorp

architect:
MVRDV

opdrachtgever:
Stichting verenigde Woningcorporaties, Tilburg

aantal wooneenheden: **100**
Aantal Blokken **1 met verschillende aanleunwoningen er omheen**

oppervlakte wooneenheden:
88,7 m²

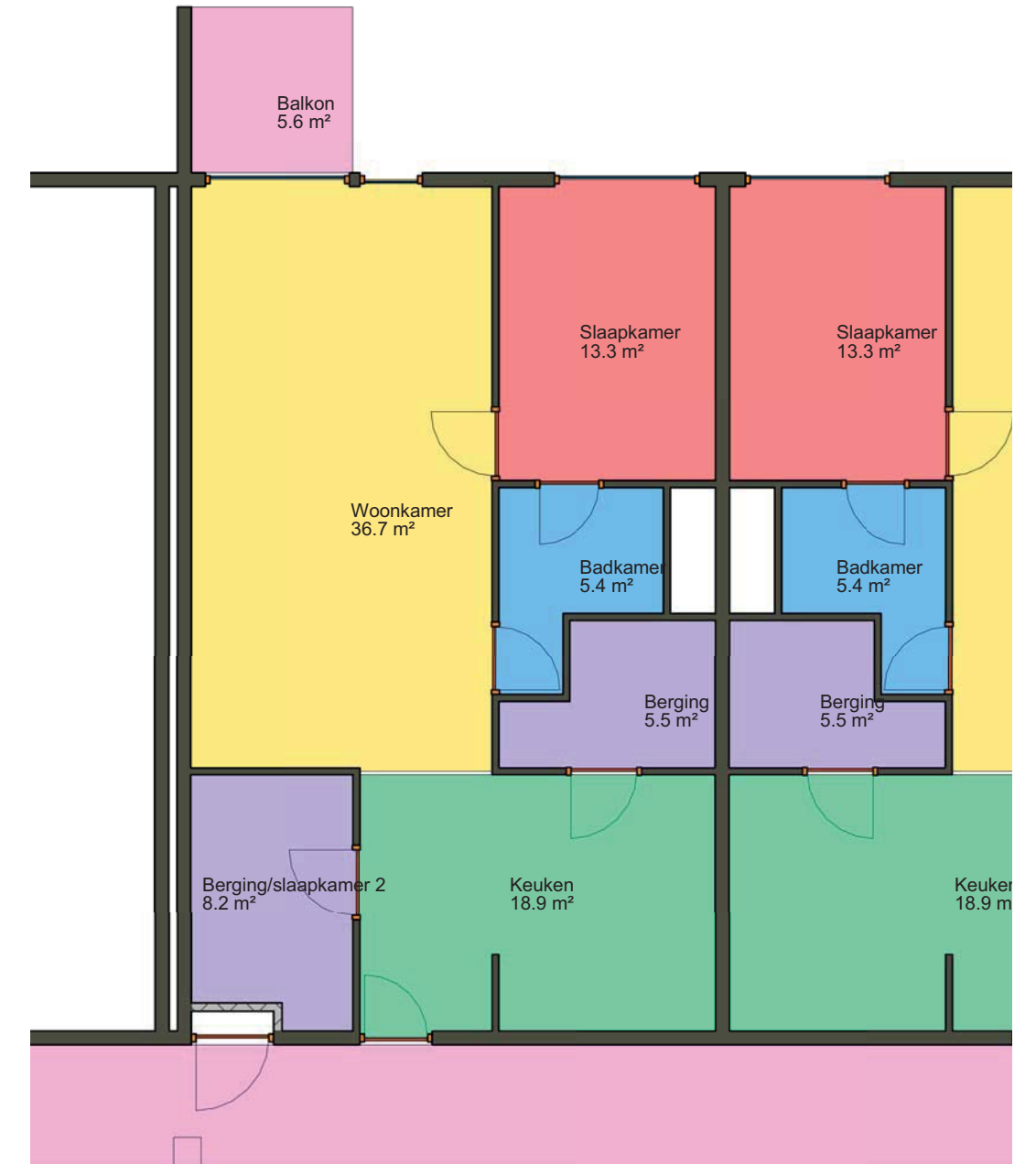
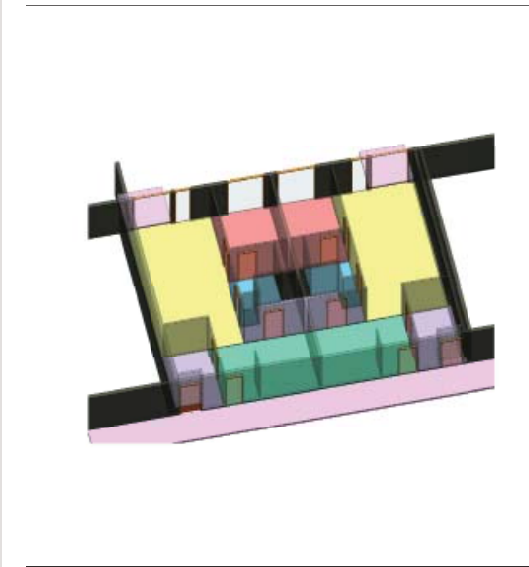
Aantal bouwlagen
9

Bouwtype
beton tunnelbouw in het werk gestort beton

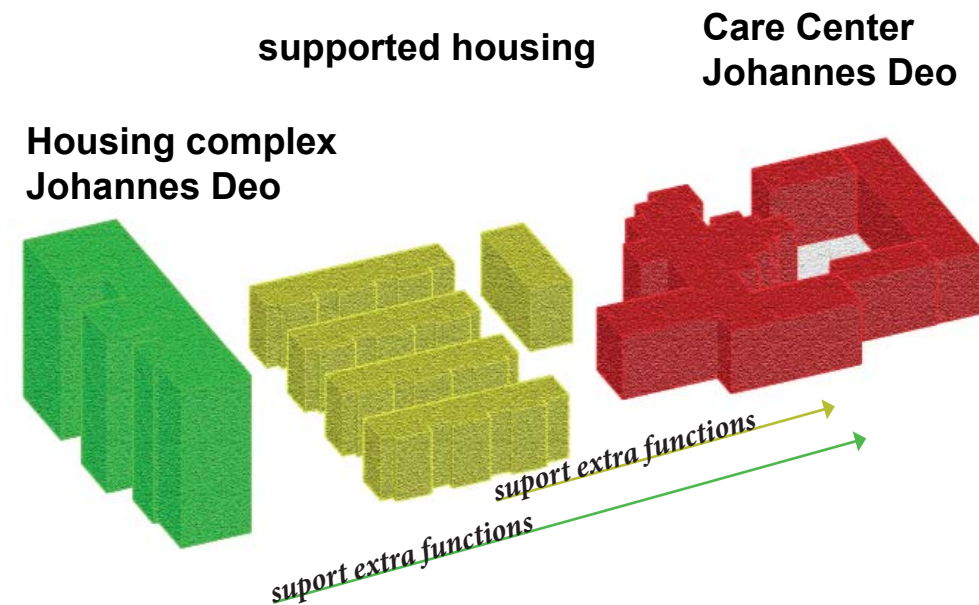
Algemene informatie:

Dit project is ontwikkeld om ouderen zo lang mogelijk zelfstandig te laten wonen.

De vraag van de opdrachtgever was een complex met 100 wooneenheden. Vanwege restricties in het stedenbouwkundig plan kon dit niet gehaald worden. Hierdoor heeft MVRDV een galerijflat ontworpen waaraan schijven opgehangen werden. Hierdoor kon het aantal toch gehaald worden. De balkons met verschillende vormen en kleuren en het houten gevelmateriaal geven het geheel een speels karakter.



Situatie
A woonzorgcomplex
B aanleunwoningen
C Zorgcentrum Johannes de Deo
D Reimerswaalstraat
E Ookmeerweg



Social

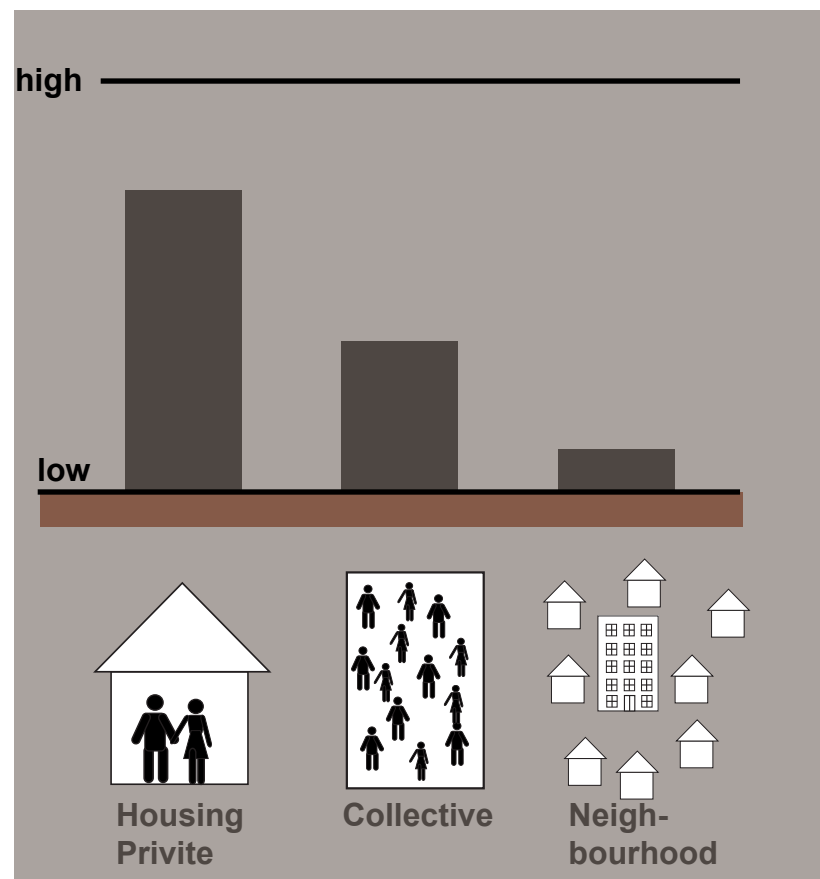
The complex of Johannes Deo is designed for supported housing for the elderly. So it functions as a residential apartment complex. The housing complex Johannes Deo is supported by functions of the care-center Johannes deo

Physical

The complex won the "Merkelbachprijs 1997". Because of the way the architect designed the building. The cantilevers and the material choice were the reason for this award. The most important physical characteristics of the building are the way it is built, looks and that it is designed for the elderly. The apartments are large and have a large number of rooms.

Economical

Because of the large number of houses and absence of collective areas the rent for the apartments can be relatively low.



locatie:
Amsterdam-Osdorp

architect:
Arons de Gelauff architecten

opdrachtgever:
Woningstichting De Huismeesters

aantal wooneenheden: **74**
Aantal Blokken **1**

oppervlakte wooneenheden:
99,1 m²

Aantal bouwlagen
21

Bouwtype
Betonnen draagconstructie

Algemene informatie:

Deze toren is op een onopvallende manier verbonden met een bestaand verpleeg en verzorgingshuis en manifesteerd zich als een losstaand gebouw. OP de begane grond staan bedrijfsruimten voor een fysiotherapie praktijk. Dit project is een van de eerste projecten waarin de grondgedachten van de intense stad "stedelijke verdichting" zichtbaar worden.

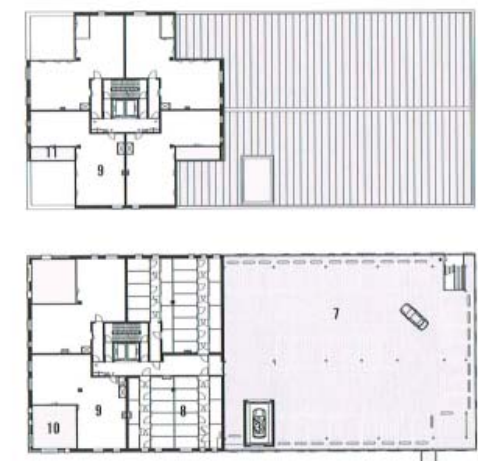
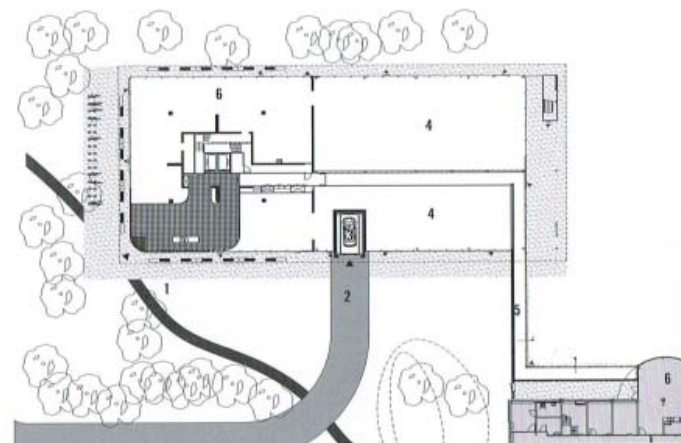
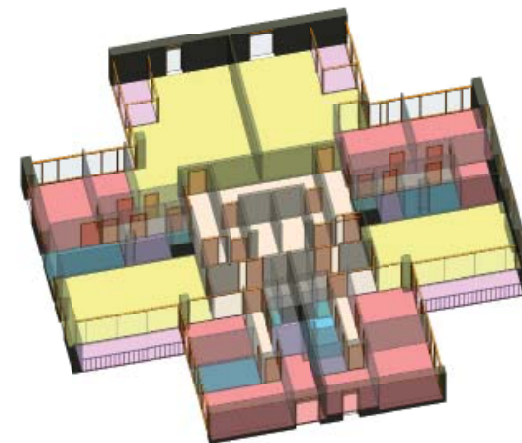
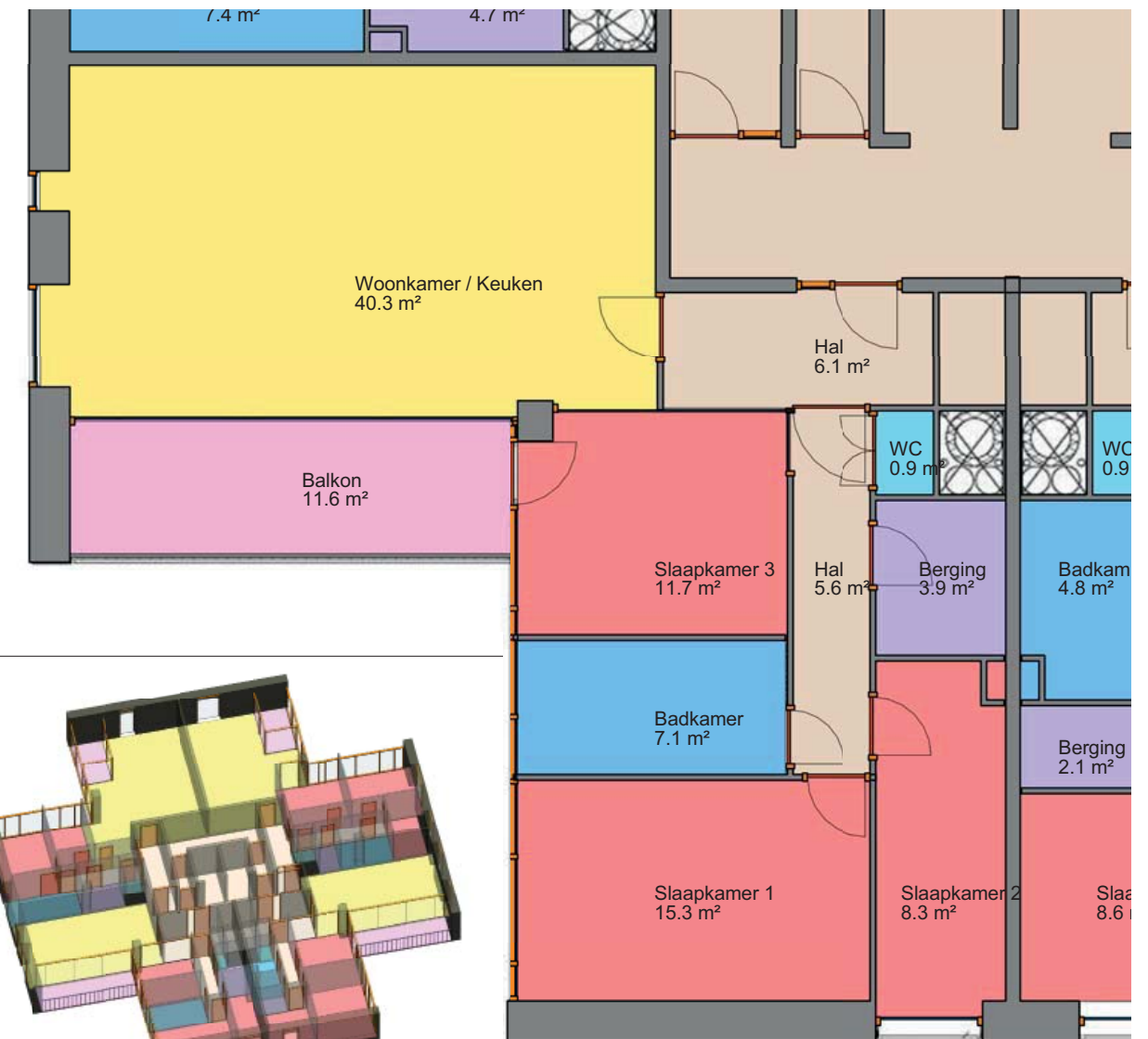


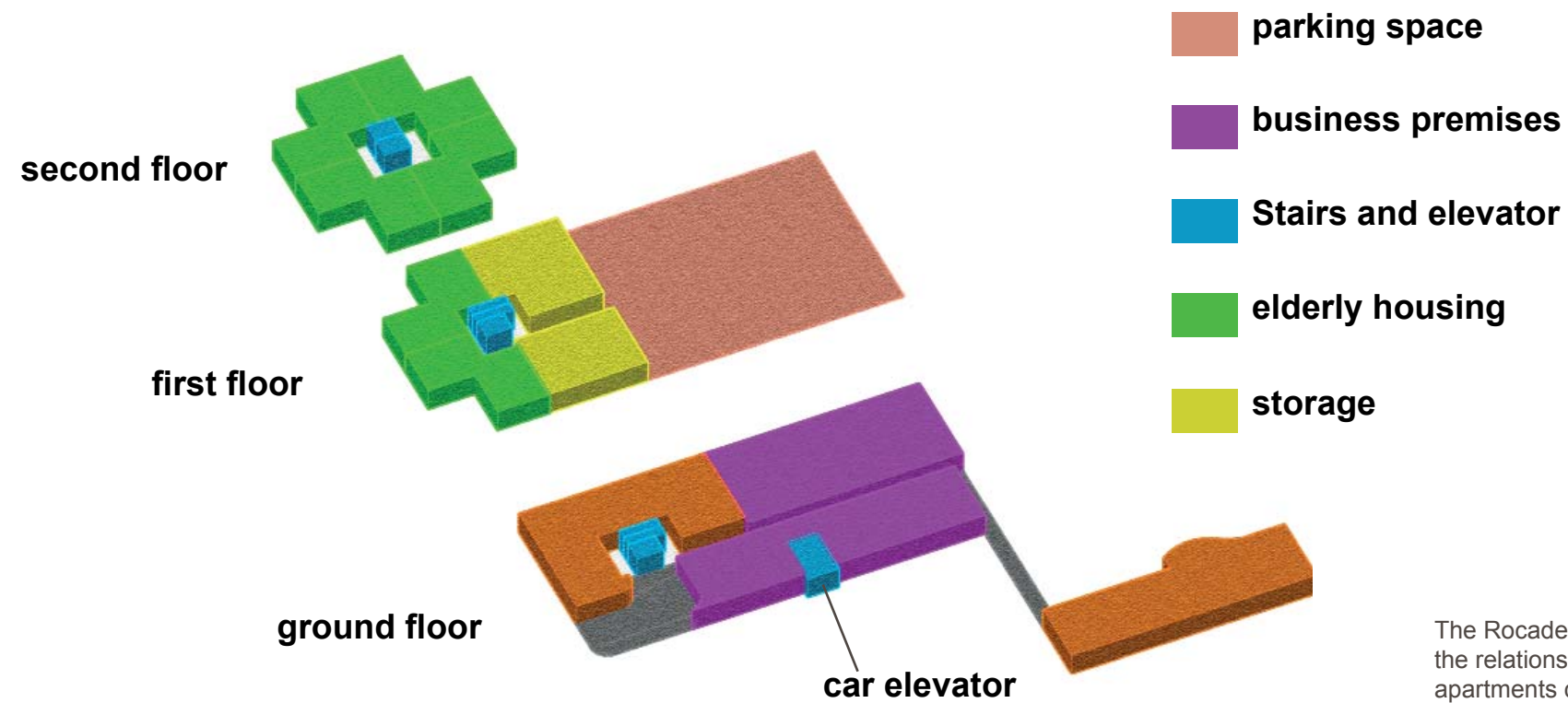
Derde, eerste verdieping, begane grond

- 1 hoofdentree toren
- 2 initieel parkeergarage
- 3 autolift
- 4 bedrijfsruimte
- 5 doorgang naar Maartenshof
- 6 Maartenshof
- 7 parkeergarage
- 8 berging
- 9 woning
- 10 patio
- 11 balkon

Plattegrond woningopties en penthouse

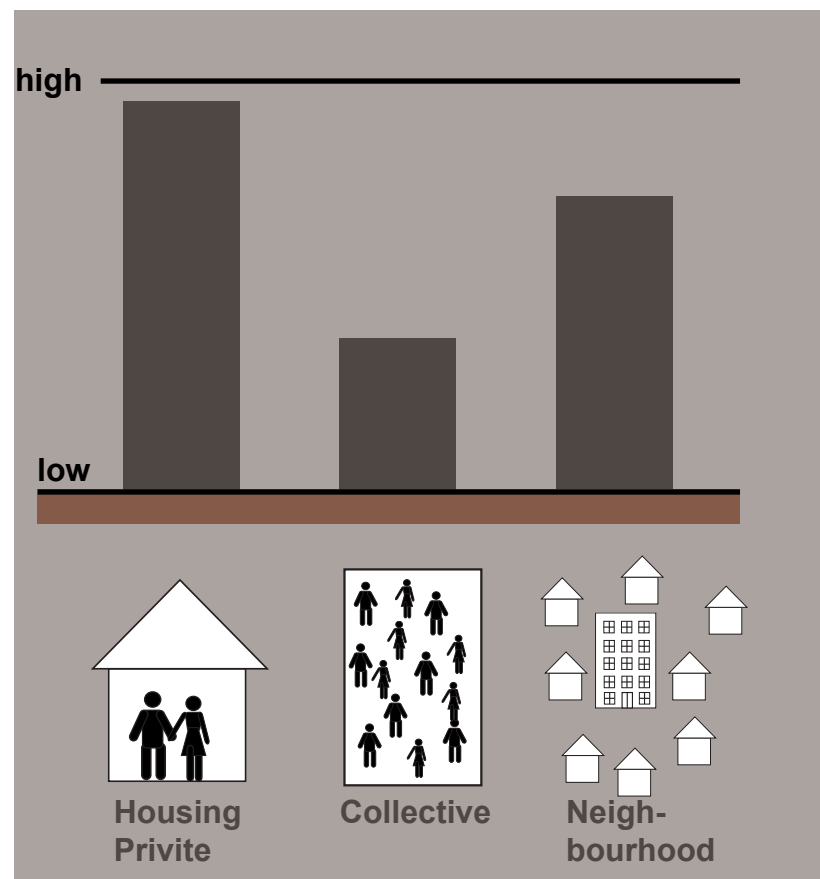
- 1 entree
- 2 woonkamer/keuken
- 3 slaapkamer
- 4 badkamer
- 5 serre
- 6 berging
- 7 balkon
- 8 patio





Social

The Rocade has a clear border between private and public. Because the apartments start on the first floor the relationship with the ground floor that is semi public is broken. This means that the occupants of the apartments can chose between private and public. By adding semi public functions to the ground floor the relation with the neighbourhood.



Physical

The complex has large apartments with large balcony's. It uses one elevator for 9 floors.

Economical

By adding functions on the ground floor extra facility can be used but don't need to be used. This generates added value to the building. The staircase is designed very effective so the is a minimum of traffic area's. The large apartments could be expensive.

locatie:
Rotterdam

architect:
VMX Architects

opdrachtgever:
Vestia Hoogvliet, Estrada Projecten

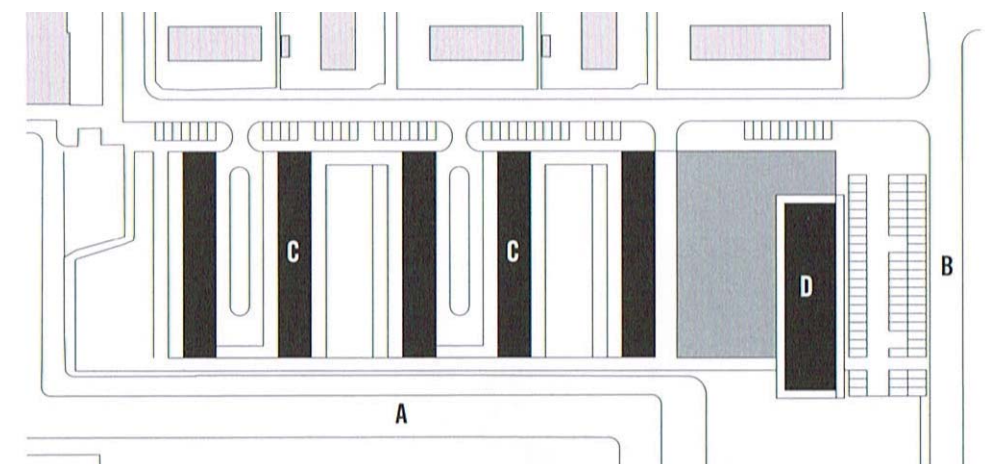
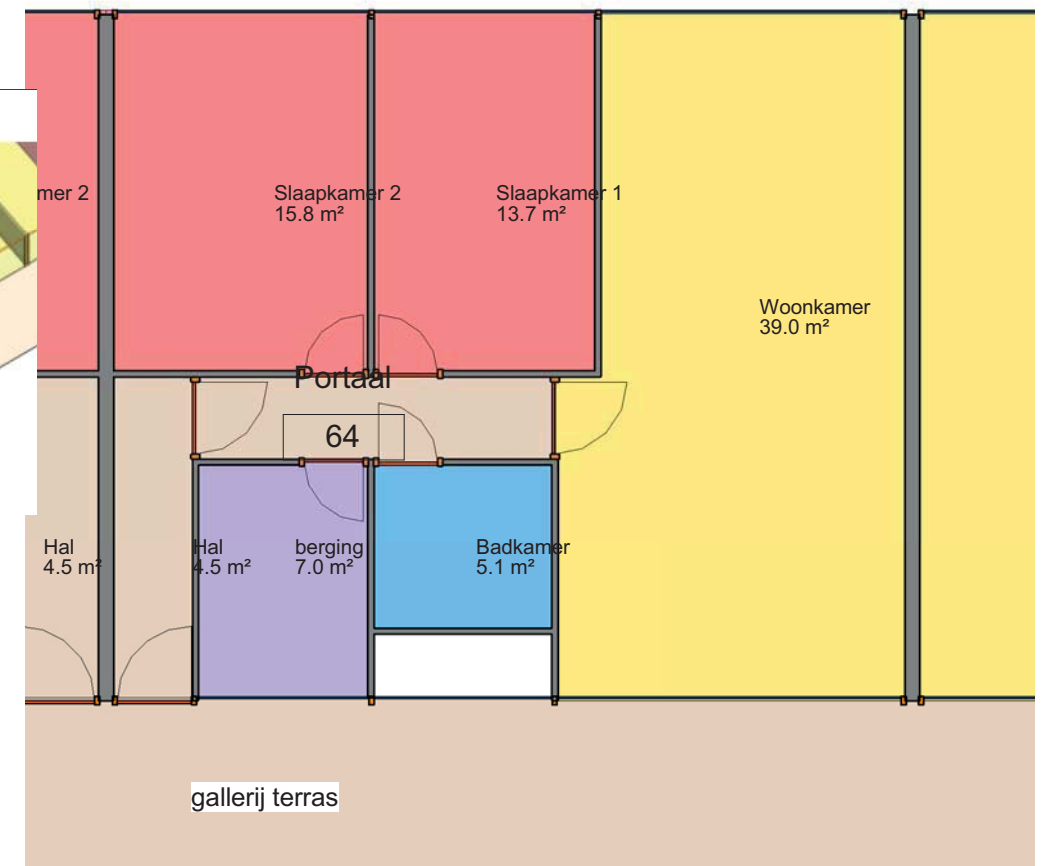
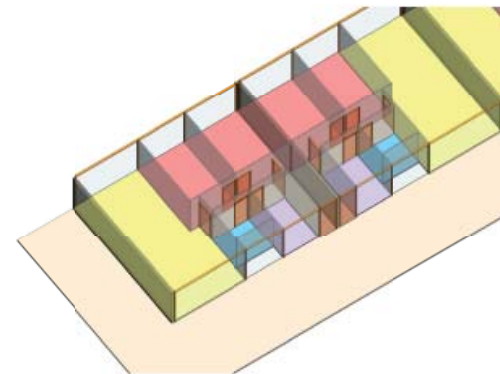
aantal wooneenheden: Aantal Blokken
80huur **6**
60 koop

oppervlakte wooneenheden:
93 m²

Aantal bouwlagen
3 / 12

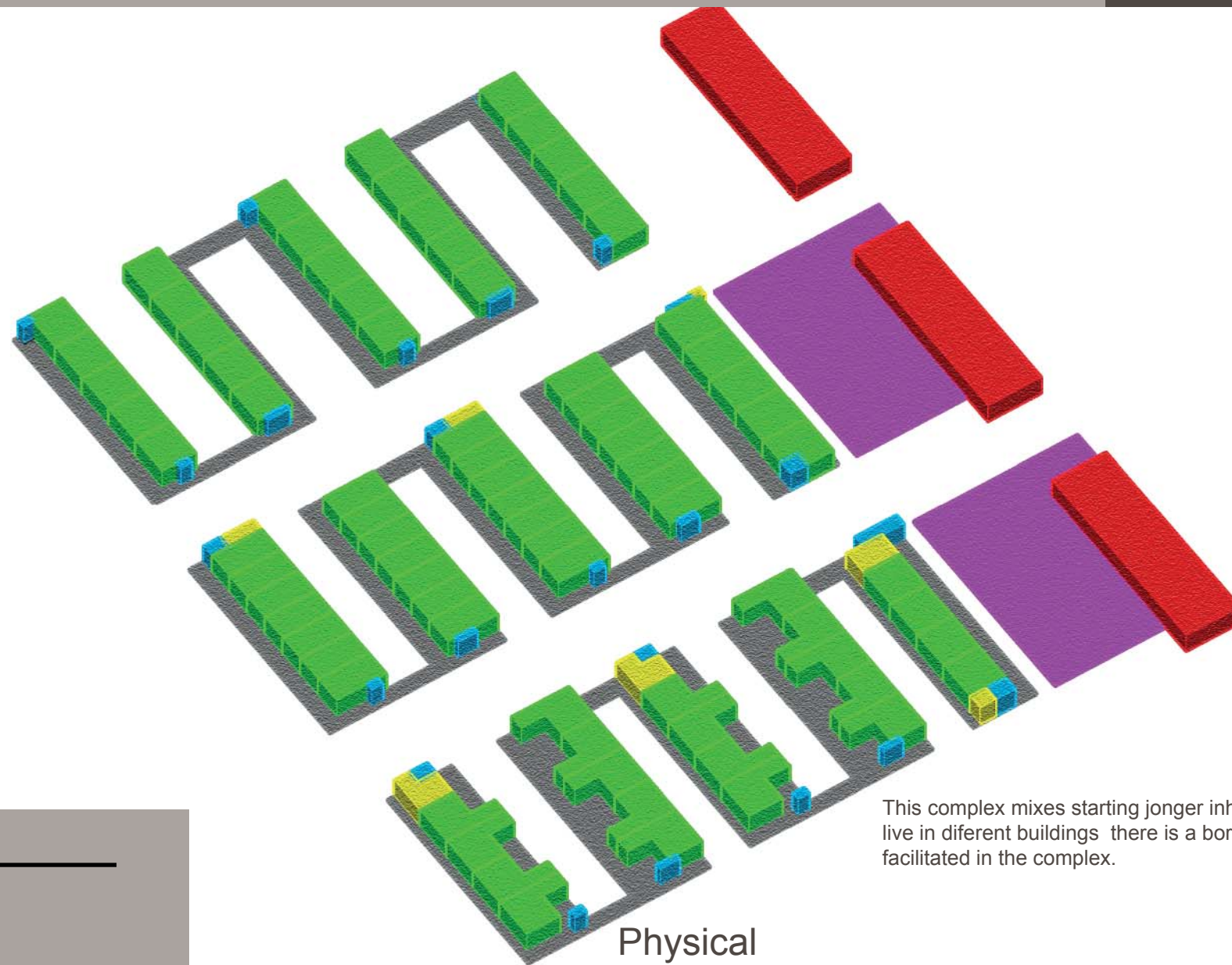
Bouwtype
Betonnen draagconstructie

Algemene informatie:
De huurwoningen zijn verbonden door galerijen. Aan de binnenzijde van de bouwblokken zijn tuinhoven ontstaan. Onder het hoofdbouwblok zit een supermarkt



Seniorenwoningen
Rotterdam-Hoogvliet





Social

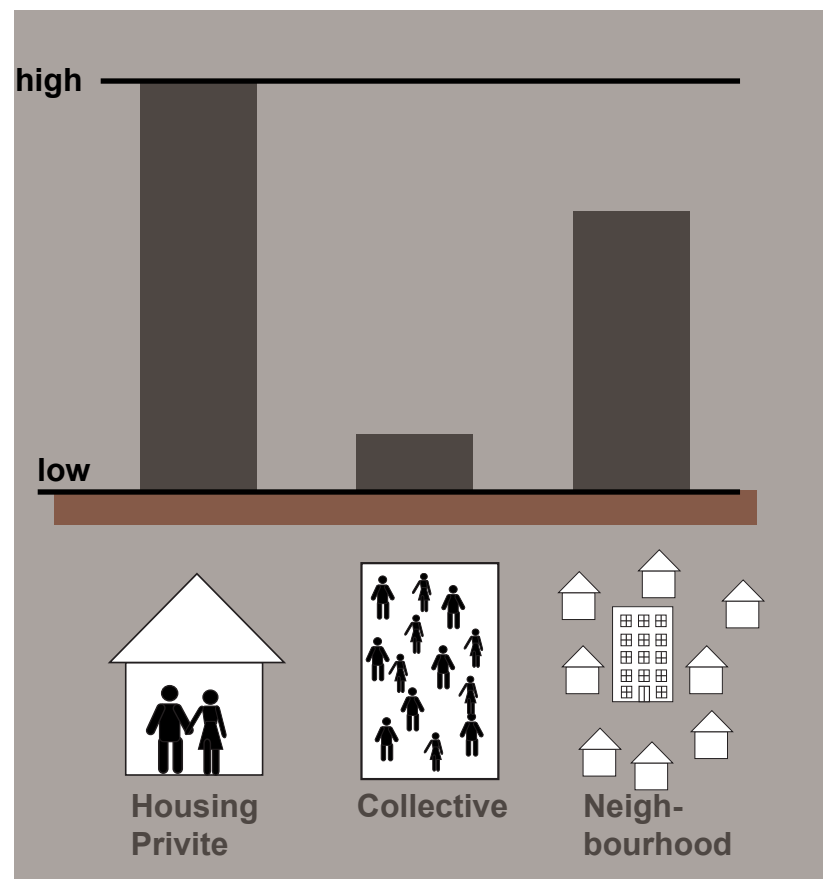
This complex mixes starting jonger inhabitants and elderly. Because the jonger inhabitants and the elderly live in diferent buildings there is a border between the groups of inhabitants. Ther is also a supermarket facilitated in the complex.

Physical

The complex does not have a place for personal. So the main focus of the building is on living and care at home. The apartments are relatively large an have hobby or study room.

Economical

Because of the absence of collective areas the main use of the floor plan is living. This makes it verry cost effective to rent a apartment.



locatie:
Heel nederland

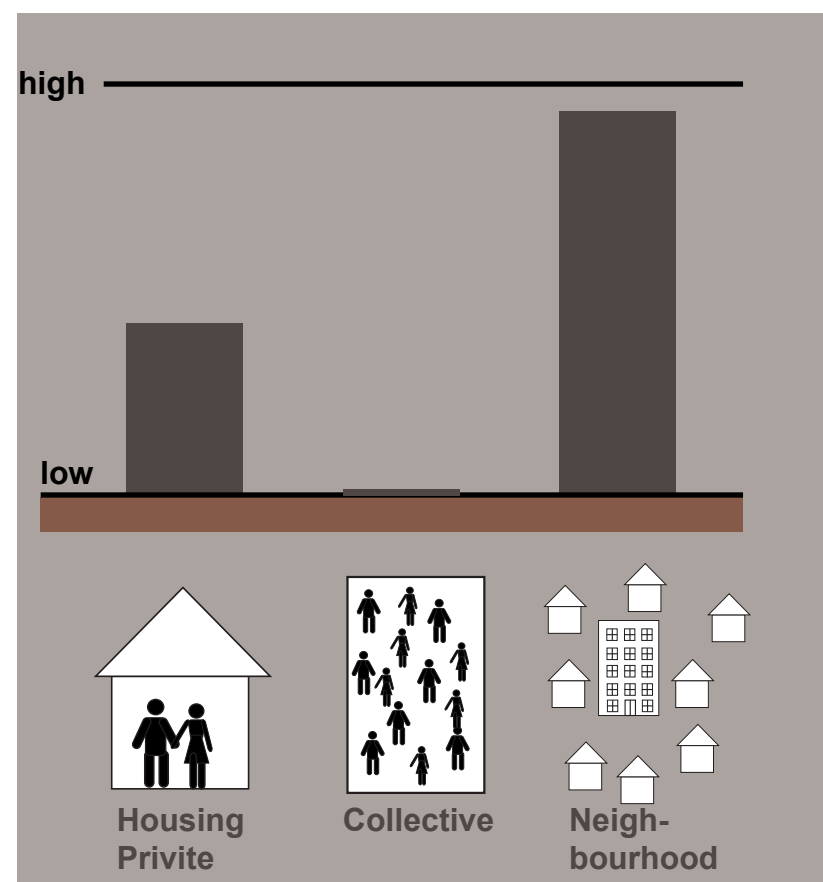
aantal wooneenheden:
1,5 ml www.hollands-ontwerp.nl/wp-content/uploads/2011/03/ad-wirken-presentatie-bouwbeurs-2011.pdf

oppervlakte wooneenheden:
+/- 90 m²

Aantal bouwlagen
3

Bouwtype
stapelbouw/metselwerk

Algemene informatie:
De doorzonwoning is de meest voorkomende woning in nederland. Veelal de meeste senioren wonen in een doorzonwoning en zullen dit moeten blijven doen dankzij nieuwe plannen van de overheid. Ook willen veel ouderen graag blijven wonen in hun woning vanwege de sociale banden die ze hebben en sentiment. (bron)



Social

When elderly stay in their house they maintain in their social structure.

Physical

The doorzonwoning is not designed for the elderly. It misses most of the time a second toilet on the first floor witch could be unpractical for the elderly. Having to use two stairs is also unpractical.

Economical

Because of the absence of collective areas the main use of the floor plan is living. This makes it very cost effective to rent a apartment.